



a



b

Figure 48. 430 Maiden Lane: (a) northwest elevation, view to azimuth 100°; (b) southwest elevation, view to azimuth 60°.

On the southwest elevation, the second story of the primary building has two single-hung windows facing the southwest and a set of three single-hung windows with mullions facing the southeast; the roofline makes an allowance for these windows. The second story of the first addition has a replacement single-leaf door. There is a pair of single-hung windows with mullion in the second addition. An added wooden staircase adjoins the single-leaf door on the second level of the first addition, the single-leaf door on the first level of the third addition, and the poured concrete sidewalk that runs along this elevation.

The southeast elevation, which is comprised of the third addition, features a replacement single-leaf door with a shed hood and wood stairs in the foundation level. To the right of the door is a set of three single-sash windows with mullions. On the first story, there is a horizontal sliding window and on the second story there is a pair of single-hung windows with a mullion. An added metal fire escape ladder stretches from the second story windows to the shed hood.

The northeast elevation features a window that has been boarded up to accommodate a vent in the foundation of the primary building. There is a single-sash window and a horizontal sliding window in the foundation of the second addition. The first story of the primary building has two single-hung windows, while there is a small single-hung window in the first addition, two horizontal sliding window in the second addition, and a single-sash window in the third addition. The second story of the primary building has a single-hung window and a pair of single-hung windows with a mullion. The second story of the second addition has a pair of single-hung windows with mullion and an additional single-hung window.

This building has been significantly altered from its original configuration. As noted, the plan has been extensively altered by the construction of three additions. Changes to the original shingle cladding are extensive and all of the trim around the windows, doors, and the eaves has been replaced by aluminum trim stylized to look like painted wood. Most of the original windows and doors have been replaced. In 1971, the City issued a permit to E. C. Miller to “remodel, clean-up wiring, and add electrical heat, plumbing.” In 1981, owner Walter Mih received a letter from the City that stated “all work necessary to comply with City of Pullman is complete, except for item 12.” The letter references an earlier letter dated 30 October 1980 which evidently listed a number of items on the property that required attention. The 1980 letter is not contained in the City’s file, thus the type of work done to the property at that time is unknown. In 1987, a permit was issued to Evergreen Housing to “divide room for study area.” The house was re-roofed in 1998, but caught fire in 2000 and sustained extensive damage. Following the fire, the City declared the house dangerous and unsafe for occupancy. Unspecified work to repair the fire damage was completed later in 2000. We recommend that this building is not eligible for listing on the National Register due to the extensive alterations of windows, doors, and the extensive modifications from additions.

440 Maiden Lane (Building 35)

This is a two-story multiple-family Colonial Revival built in 1938. It is on the east side of Maiden Lane, four lots north of its intersection with Maple Street (NW¼ NW¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The building is on Lot 8 of Block 6 in Reaney’s Third Addition (Whitman County tax parcel 112400001080000). It is currently owned by Ralph Westermeyer of Bellevue, Washington. The address prior to 1972 was 1204 Maiden Lane.

The 1942 State College of Washington Campus Directory lists three of the early tenants of the house, including Arlene Holen, Florence E. Tweter, and Mary B. Anderson. All three women were stenographers for the college Extension Service.

The house contains six apartments and has a rectangular ground plan that covers 2,825 square feet. The roof is a cross-gable roof with close eaves, and is covered with composite asphalt shingles. There is a centered chimney with stretcher bond masonry. The walls are clad in replacement vinyl siding resembling clapboard. The foundation is poured concrete. An asphalt driveway runs along the southwest elevation and connects to an asphalt parking lot on the southeast elevation.

The primary, northwest, elevation faces Maiden Lane (Figure 49a). The foundation of this elevation is obscured by dense ivy. A single-leaf door with twelve lights and plain trim recessed approximately two feet into the elevation is in the center of the first story. This creates a covered entryway with a poured concrete stoop and stairs down to a concrete sidewalk. The door is flanked on either side by flush side panels with five lights each. There is a large single-sash twenty-light window on each side of the recessed entryway. All windows have simple wood trim. The second story contains two twenty-light windows and two eight-light windows that open on vertical hinges.

On the southwest elevation, the first one-third of the foundation is exposed poured concrete, while the back two-thirds are fronted by vinyl cladding (Figure 49b). In the foundation, there is one single-sash six-light window and two single-hung windows, along with a single-leaf door with nine lights and an additional pair of single-hung windows with mullion. The first story contains three large and two small single-hung windows, each with six lights in the top sash. The second story has two large and two small single-hung windows, each with six lights in the top sash, and there is a vent under the open gable. The right end of this elevation features a cutout on the second story, with a hip roof over the first story, and a single-hung window on the recessed portion of the southwest elevation.

The southeast, rear, elevation contains two single-hung windows in the foundation, two on the first level, and two on the second level; all but one of these windows has six lights in the top sash. There is a vent under the open gable (Figure 49b).

In the foundation of the northeast elevation, there are three single-hung windows with six lights in the top sash, one single-hung window, and one window that has been replaced by boards to accommodate a vent (Figure 49a). The first story contains four single-hung windows with six lights in the top sash, one slightly smaller than the others, and one window that has been boarded up to accommodate a vent. The second story contains four single-hung windows with six lights in the top sash, one smaller than the others. A poured concrete sidewalk runs along the right side of the northwest elevation.

Changes to the original windows in this buildings appear to be moderate. Most of the windows are covered with aluminum screens, though some of the original windows remain behind the screens. Changes to the cladding have been extensive. In 1989, a permit was issued to owner J&B Enterprises of Pullman to replace the gas water heaters. That same year, a permit for residing was issued to Janice and Robert Miller. The house was re-roofed in 2006. In 2008, present owner Ralph Westermeyer of Bellevue, Washington was issued a permit to demolish a detached garage on the property. Therefore, we recommend that the building is not eligible for listing in the National Register of Historic Places.



a



b

Figure 49. 440 Maiden Lane: (a) three-quarter view of the northeast and northwest elevations, view to azimuth 190°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 335°.

460 Maiden Lane (Building 36)

This is a two-story multiple family Colonial Revival built in 1928. It is located on the east side of Maiden Lane, three lots south of its intersection with Spaulding Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is on Lot 13 of Block 6 in Reaney's First Addition (Whitman County tax parcel 112300006130001). It is currently owned by Slocum Apartments, LLC of Pullman. It has been owned by Walter Slocum or relatives at least since 1966. The address prior to 1972 was 1208 Maiden Lane.

Some of the early residents of the building listed in the State College of Washington campus directories include Alfred Boyington (Instructor in Violin and Conductor of the College Orchestra), Earl H. Pritchard (Assistant Professor of History), Mae Pritchard (Assistant Supervisor of Rural Research), Alice S. Hurt (Secretary, General College Extension) in 1936; and Kermit Graves (Assistant Chemist), Harold W. Parker (Superintendent of Heat, Light, and Power Plant), and Virginia M. Hinds (Assistant, Correspondence Office) in 1942.

The house is divided into nine rental apartments. It is comprised of a rectangular primary building with a large addition on the southeast elevation that makes the overall ground plan irregular. The current ground plan that covers approximately 2,988 square feet. The primary building has a front-facing gable, as does the addition; the northeast elevation of the primary building adjoins the northeast elevation of the addition, but the southwest elevation of the addition is set farther back than that of the primary building. The roof of the primary building has close eaves, while the roof of the addition has slightly more projected eaves; both roofs are covered with composite asphalt shingles. There are several metal chimney pipes in the roofs of both parts of the building and one stretcher-bond brick chimney in the northeast slope of the primary roof. On the northwest and southeast elevations, the second story extends out over the first by less than one foot and has decorative knobs affixed to the overhang. The entire building is clad in wood shingles. The foundation is poured concrete.

The primary, northwest, elevation faces Maiden Lane (Figure 50). A modestly decorative poured concrete sidewalk leads to a partially enclosed porch at the left end of the northwest elevation. This porch is actually part of the northeast elevation, but is open at the northwest end. To the right of the porch opening, in the foundation level of the northwest elevation, there are two replacement horizontal sliding windows. The windows are mostly below the ground surface and open into subterranean alcoves with poured concrete retaining walls. The first story of this elevation has a slightly projected bay with a thirty-light window and an ornate wood surround. To the right of the bay is a single-hung window with six lights in the top sash. All windows on this elevation except for the bay window feature decorative wood shutters and simple wood trim and sill. The second story contains two single-hung windows and a vent under the gable.

On the southwest elevation, there is a partially covered entryway on the left end of the foundation and first level, and farther to the right there is a projected wing on the first level that creates coverage over a foundation level entry (Figure 51). Between these two structural features are two two-sash windows in the foundation level. In the partial enclosure created by the projected wing, there is a three-sash window in the foundation level, and then farther to the right on the primary building are a single-hung window with six lights in the top sash and a horizontally sliding window with four lights in each sash.

The first story of the southwest elevation contains an original single-leaf door with a large glass panel and an original screen door, which sit under a shed roof that creates a covered entryway. The roof is supported by simple wood pillars, is partially enclosed by wood railing, and is adjoined to side-facing wood stairs. To the right of the door is a pair of single-hung window, each with six

lights in the top sashes, and one horizontal sliding window. On the projected wing, which also has a shed roof, a large window facing the northwest has been boarded up, there is one horizontal sliding window facing the southwest, and there is one single-hung window facing the southeast. On the second story, there is one horizontal sliding window, two small and one large single-hung window, and one horizontal sliding window with four lights in each sash. All windows on this elevation have simple wood trim and sill; the second level windows also have decorative shutters.



Figure 50. Three-quarter view of the northeast and northwest elevations of the large, multi-family house at 460 Maiden Lane, view to azimuth 180°.

The southeast elevation of the primary building has one single-hung window in the foundation level, two single-hung windows in the first story, and two single-hung windows in the second story; all of these windows are replacements. Also on this elevation is the addition, which adjoins the primary building at the foundation level and extends out towards the southeast. The property is built into a hillside, allowing the addition to have its own full basement. As a result, the foundation level of the primary building is the first level of the addition. The southwest elevation of the addition has three entries on the first level (Figure 52). There are two standard size single-leaf doors with six lights (one retaining its original screen door). To the right of these doors are cupboard-like fixtures on the exterior of the building. The final single-leaf door, at the right end of the elevation, has six lights and is slightly narrower than the others. It also retains an original screen door and has a cupboard fixture to the left. Each door opens onto a poured concrete stoop with a wood hand railing.

Also on this level are two replacement single-hung windows. In the foundation level on this side of the addition, there are two horizontal sliding windows and one single-hung window, all of which appear to be replacements.



Figure 51. Southwest elevation of the original building at 460 Maiden Lane, view to azimuth 10°.

On the southeast elevation of the addition, the foundation level is fully exposed; the right side of the level is clad in wood shingles while the left side remains unadorned poured concrete. In this level there is a horizontal sliding window and two single-hung windows. The first level contains two single-hung windows and a vent under the gable. All windows on this elevation are replacements. Also on this elevation is a wood deck with railing that is accessible via wood stairs from the southwest, or from a poured concrete walkway that runs along the northeast elevation.

The northeast elevation of the addition features one replacement single-leaf door in the foundation level. Poured concrete stairs lead to the first level of the addition, but under the elevated walkway there is an additional horizontal sliding window in the foundation. In the first level, there is one replacement single-hung window and two original single-leaf doors with six lights; one of the doors retains its original screen door. Returning to the original building, the foundation level features a projected bay feature with a replacement single-hung window with eight lights in each sash. There are two replacement single-leaf doors to the right. The right two-thirds of this level are projected out to support the first level porch. In the foundation for the porch, there is a single-hung

window facing the southeast, and a single-hung window and horizontal sliding window facing the northeast; all windows are replacements. On the first level, there is a replacement single-hung window to the left of the porch. Under the shed roof porch is an original single-leaf door with fifteen lights, one single-hung window with six lights in the top sash, and one replacement single-leaf door with added aluminum screen door. The porch is partially enclosed by wood railing and the roof is supported by simple wood pillars. Poured concrete stairs with simple brick detail join the concrete porch floor to the sidewalk.



Figure 52. Southwest elevation of the addition at 460 Maiden Lane, view to azimuth 60°.

The original ground plan was extensively altered by the addition to the southeast elevation, though this is an old addition. It is shown on the 1929–1949 Sanborn map where it is labeled as an extension of the basement. Most of the original cladding appears to be intact, though there have been extensive changes to the windows (the first level retains more original windows than any other level). Changes to the doors appear to be slight. The house was re-roofed in 1990. In 2008, the house was again re-roofed and a permit was issued to remodel a bathroom, rebuild the deck at the rear of the house, and to remove a stairwell and incorporate the space into the remodeled bathroom. The alterations to the building plan, replacement windows, and replacement of the roof have resulted in substantial loss to integrity. Therefore, we recommend that the building is not eligible for listing on the National Register.

470 Maiden Lane (Building 37)

This one-and-one-half-story Tudor–Composite Multiple Family dwelling was built in 1930. It is located on the east side of Maiden Lane, two lots south of its intersection with Spaulding Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is on Lot 12 of Block 6 in Reaney’s First Addition (Whitman County tax parcel 112300006120001).

It is currently owned by Ralph Westermeyer of Bellevue, Washington. The address prior to 1972 was 1210 Maiden Lane.

Some of the early residents of the building listed in the State College of Washington campus directories include Carl F. Floe (Instructor in Metallurgy and Metallography) in 1932; Helen Broom (Clerk) and John C. Snyder (Extension Horticulturalist) in 1936; and C. B. Horston (Assistant Professor in Soils), L. B. Harston (Assistant Professor in Soils), and Lloyd R. Michels (Assistant Chemical Engineer) in 1942. City records indicate the house was owned by Tamara Ufkes of Richland, Washington in 1970. Robert L. Miller owned the house from 1981 at least through 2005.

The house contains two rental apartments and has an irregular ground plan that covers 1,549 square feet. The dominant roofline is a side facing gable with a front facing gable over a wing that is on the right end of the northwest (primary) elevation. The southwest slope of the front gable extends out to join the single-car garage. All of the rooflines feature close eaves, and the entire roof is covered with composite asphalt shingles. The building retains its original wood shingle cladding. The foundation is poured concrete. An attached single-car garage extends out from the southwest elevation of the house and is distinguished from the main roofline by a narrow front gable. The 1929–1949 Sanborn map indicates this not an addition, but was part of the original building.

The northwest, primary, elevation faces Maiden Lane (Figure 53a). A poured concrete sidewalk and broad stairs lead to an original single-leaf door with four lights. The door has decorative hinges and is made of wood paneling. The doorway has a decorative wood surround and a flat hood supported by wood consoles; the door sits in a projected wing that adjoins the front-gabled wing. This smaller entry wing also has a front-facing gable. To the left of the entryway is a large single-sash window on the portion of the house under the side gable. Between the wood and front door is a chimney made of stretcher-bond masonry and styled into four tiers. On the upper half-story, under the front gable, is a round window. At the far right end of the elevation is the front of the attached garage. As previously noted, the garage is distinguished from the main roofline by a narrow front gable. The garage door is missing.

The garage covers most of the first story and basement levels of the southwest elevation of the house (Figure 53b). The southwest elevation of the garage contains a four-light window. In the basement level, to the right of the garage, there is an original four-light window that opens on horizontal hinges. In the first story of the elevation, to the right of the garage, there is an original single-hung window with four lights in the top sash. The upper half-story contains a pair of single-hung windows with three lights in the top sash, and separated by a mullion. A vent is under the open gable.

The basement level of the southeast elevation contains three single-hung windows with four lights in the top sashes, plus an additional window opening that has been boarded up. These windows also retain the brackets for missing screens. The first story contains a single-hung window with four lights in the top sash, a horizontal sliding window, and two single-sash windows of different sizes. There are also two breaks in the cladding on this level that may have formally been part of windows.

On the northeast elevation, there are poured concrete stairs and a metal hand rail leading from the street level down through a concrete retaining wall to a foundation level entry. The single-leaf door with six lights has flush side panels with five lights each and simple wood trim. On either side of the door are single-sash four-light windows. The first story of this elevation contains two single-hung windows, one with four lights in the top sash and the other with six lights in the top sash. The upper half-story has a pair of single-hung windows with three lights in the top sash and separated by a wood mullion. There is also a vent under the open gable.



a



b

Figure 53. 470 Maiden Lane: (a) northwest elevation, view to azimuth 160°; (b) three-quarter view of the northwest and southwest elevations, view to azimuth 100°.

Some alterations have been made to the exterior of this building. The original ground plan, cladding, and doors appear to be intact. Moderate changes have been made to the original windows, mostly on the rear (southeast) elevation where windows have been removed. A remodeling permit was issued to Robert L. Miller in 1981. The house was re-roofed and a gas furnace replaced in 2005. The original roof was covered with wood shingles, which were present in 1949, as indicated on the Sanborn Fire Insurance Map. The window alterations and new roof have substantially compromised the integrity of the building. Therefore, we recommend that the building is not eligible for listing on National Register.

530 Maiden Lane (Building 23)

This one-story Arts and Crafts – Rustic/National Park dwelling is located on the east side of Maiden Lane, three lots south of its intersection with Ash Street (NW $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). This was originally built as a single-family log cabin in 1903. Extensive modifications have greatly increased the size of the building, which is now divided into multiple rental apartments for college students. The building is located on Lot 6 of Block 6 in Reaney's First Addition (Whitman County tax parcel 112300006050006). It is currently owned by Mary K. Ghirardo of Pullman. The address prior to 1972 was 1308 Maiden Lane.

The earliest person we can associate with the house is Mrs. D. Dargan. The 12 November 1915 *Pullman Herald* reported that the house was the scene of a party announcing the engagement of Viola Dargan (daughter of Mrs. D. Dargan) to Jas. Mulligan of Spokane. The following year, Mrs. Dargan sold her household goods and moved to Puyallup (*Pullman Herald*, 17 March 1916).

City of Pullman building permit records indicate the building was owned by John Wickliffe. This appears to be the beginning of a long history as a rental property. By 1971, the house had a new owner whose first name was Baldwin, but the last name is illegible on the record in the City's file. By 1976, the building had been acquired by Dennis Wimmer, who owned it at least through 1985.

The current building has a rectangular ground plan that covers 920 square feet. The roof is a front-facing low gable with projecting eaves and a boxed cornice. It is covered with asphalt composition shingles. All of the additions and part of the original log building have board-and-batten. The logs of the original cabin are full-peeled with round-V notching and have concrete chinking. The foundation is poured concrete and possibly some random rubble.

The primary, northwest, elevation faces Maiden Lane (Figure 54). The front yard is 3–4 feet below the street and sidewalk level, and is shored up by a poured concrete retaining wall. A poured concrete sidewalk and steps lead to a concrete patio that is partially covered by a low gable porch with a shiplap ceiling. The porch beneath the roof incorporates logs that are consistent with the logs that front the elevation. The patio is flanked with two poured concrete crawl space access points that have metal coverings. The front entrance is a replacement single-leaf door. Flanking the door on the right are two single-hung windows with log trim. The windows are replacements.

The southwest elevation, at the foundation level, has a single-sash window. The first story has an added doorway with a single-leaf door with plain trim (Figure 55, Figure 56). Below the door is a small covered poured concrete patio with a shiplap cladding overhang. The major support beams are exposed. To the right of the door is a projection that is probably an addition. A new single-hung window with plain trim is present on the northwest facing elevation of this project, next to the door. To the right of this is a two-sash horizontal sliding window. The rear half of the first story is a foot wider than the foundation, creating different depths on this elevation.



Figure 54. The northwest elevation of the building at 530 Maiden Lane, view to azimuth 95° (the front of the building is largely obscured by vegetation from a more direct angle).

The southeast (rear) elevation is an addition (Figure 56). The lower part of the elevation at the basement level is covered by poured concrete decorated to look like a brick veneer. This wraps around to cover the lower part of the northeast elevation of the addition. The basement level has a single-leaf door that is flanked on the left by a square single-sash window and on the right by two single-hung windows. The first story, above the basement, is divided into two equal halves with identical window-and-door arrangements. A wood balcony, divided in half by a wood partition, extends out from the elevation. On each side of the wall is a large single-sash with narrow flanking horizontal-sliding windows and a single-leaf door. There are two vents under the gable.

At least part of the foundation beneath the northeast elevation of the original log building appears to be rubble, but most of it is covered in stucco. There are no windows in the addition to the rear part of the building, but the original log portion contains a single-sash four-light window in the foundation. The first story on the original log cabin has two single-hung windows with log trim. The trim has a header and jambs of peeled half logs.



Figure 55. The northwest and southwest elevations of the building at 530 Maiden Lane, view to azimuth 70°.

This building has been significantly altered from its original log cabin configuration. The original ground plan has been extensively altered by the construction of additions and there have been moderate changes to the cladding on the original part of the building. Changes to the original windows and doors are extensive. City of Pullman records indicate that John Wickliffe divided the house into three units in 1954, and this appears to be the beginning of a long history as a rental property. A building permit application submitted by Wickliffe on 14 July 1954 called for the construction of a new foundation under the porch, cutting of three doors, closing one door, and making “minor repairs.” In 1976, this was one of several properties on Maiden Lane identified as “substandard housing” by City building inspectors. In 1985, Dennis Wimmer received a permit for “re-roofing, taking down addition, and remodeling 4 bedrooms.” This suggests an older addition to the back of the log cabin was demolished and replaced by the current addition. A sketch of the 1985 addition found in the City’s permitting files matches the current wooden deck on the southeast elevation of the building.

The integrity of the building has been substantially compromised by the additions, many changes to cladding, doors and windows, and by replacement of the roof. Therefore, we recommend that the building is not eligible for listing on the National Register of Historic Places.



Figure 56. Three-quarter view of the southwest and southeast elevations of the building at 530 Maiden Lane, view to azimuth 360°.

535 Maiden Lane, College Hill Apartments (Building 20)

This three story Modern Apartment Block built in 1965 is the most recently constructed building included in the inventory. It is located at the southwest corner of Maiden Lane and Ash Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The building is on Lots 7 and 8 of Block 4 in Reaney's Second Addition (Whitman County tax parcel 112350004070000). The apartment complex has been owned by either Mr. and Mrs. Ralph Templeton of Bellevue, Washington or Templeton Enterprises, LLC of Vancouver, Washington since its original construction. The address prior to 1972 was 1305 Maiden Lane.

According to the original building construction permit application, the building was designed by Moscow, Idaho architect Douglas W. Vicary. The building contains 20 apartments plus a laundry and has an asymmetrical, U-shaped ground plan that covers 8,902 square feet. There is a central courtyard between the wings of the building.

The northeast wing, adjacent to Ash Street, is slightly longer than the southwest wing on the other side of the courtyard. The building has low front-facing gables over the two wings and a side-facing gable over the back portion of the building. The eaves are projected and the roofing material is a composite shingle. The building is clad partially in stretcher bond brick veneer and partially in wood clapboard. The foundation is made of poured concrete and finished with stucco. The central courtyard is covered with white river cobbles and ornamental shrubs.

Beginning with the southeast elevation of the southwest wing, to the left of the courtyard and facing Maiden Lane, we find that all three stories feature a sliding glass door that opens onto a wood balcony with exposed support beams (Figure 57). Each balcony is partially enclosed by metal hand railings. Immediately to the right of the doors are windows with a large single-sash and a

smaller, narrow single-hung window. The foundation level of this elevation contains three covered parking spaces. The northeast elevation of the southwest wing, which faces the central courtyard, features a horizontally sliding window at the right end of the elevation on each story.



Figure 57. College Hill Apartments: three-quarter view of the southwest and southeast (facing Maiden Lane) elevations of the southwest wing (left) and the northeast wing (right) with a courtyard between the wings, view to azimuth 335°.

Continuing clockwise around the courtyard is the southeast elevation of the rear portion of the building. Again, all three stories are identical with each apartment unit featuring a single-leaf door with a storm screen. The doors are flanked on the left by a window containing a large single-sash on the left and a narrow single-hung on the right. To the right of the door is a larger window with a narrow single-hung on the left and a large single-sash on the right. Under this window is an air conditioning unit. Wooden walkways line the levels of this elevation, again with exposed support beams, simple wood pillars, and metal handrails.

Continuing clockwise, the next elevation is the southwest elevation of the northeast wing (Figure 57). This elevation also faces the interior courtyard. The apartment units again display the same pattern of window-door-window described for the previous elevation. Attached to the southeast corner of this wing is an enclosed stairwell with doors on all three levels. The door at the ground level of the stairwell opens to the southwest in front of the courtyard. A narrow three-sash window on the southeast elevation provides light to each of the three levels of the enclosed stairwell.

The southeast elevation of the northeast wing, which faces Maiden Lane, is connected to the enclosed stairwell by decorative metal screens that enclose the end of a breezeway. Each level on this elevation contains a window with a large sash on the left and a narrow single-hung window on the right.

The northeast elevation of the northeast wing faces Ash Street and features two styles of windows (Figure 58). The first is a tall, narrow window with a fixed sash in the middle and horizontal sliding windows above and below. The second type is a narrow horizontal sliding window. The three levels of this elevation are identical and feature the following pattern: two tall windows, two horizontal windows, four tall windows, two horizontal windows, and two tall windows. The foundation of this elevation is open for parking and is supported by simple metal pillars.



Figure 58. College Hill Apartments: three-quarter view of the northeast (facing Ash Street) and northwest elevations of the northeast wing, view to azimuth 155°.

The window configuration on the northwest, or back, elevation of the building are identical for each level. This elevation is broken by an off-center breezeway that separates the apartments in the northeast wing from those in the rest of the building. The northwest end of the breezeway is enclosed by a decorative metal grate or screen. To the left of the breezeway on each level is a window containing a large fixed-sash on the left and a narrow single-hung on the right. The windows to the right of the breezeway are the same two styles described for the northeast elevation of the northeast wing and follow an identical pattern on each level: two tall windows, two horizontal windows, and two tall windows.

The final elevation is the southwest elevation of the southwest wing. As with the previous elevation, this elevation is broken by an off-center breezeway that separates the apartments at the rear of the building from those at the eastern end of the wing. The foundation level left of the

breezeway contains two covered parking spaces beneath the building. A concrete and metal staircase to the right of the parking spaces provides access to the three levels of the building. Above the parking spaces, each of the three level features a window with a narrow single-hung window on the left and a fixed sash on the right. The three apartment levels to the right of the breezeway each contain a set of three horizontal sliding windows, each of a different size and proportion. The laundry room is located in the foundation level to the right of the breezeway and has a pair of windows that have fixed sashes in the middle and horizontally sliding sashes on either side. An asphalt parking lot runs along the southwest and part of the southeast elevations.

Alterations to the building include slight changes to the doors and moderate replacement of windows. City records indicate that a permit to “build covered deck and slabs” was issued in 1974. A new roof was installed in 1999. The building is 48 years old and contains no significant architectural characteristics. Therefore, we recommend that it is not eligible for listing on National Register.

540 Maiden Lane (Building 22)

This is a two-and-one-half-story Craftsman built in 1904 and is on the east side of Maiden Lane, two lots south of its intersection with Ash Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally built as a single-family dwelling, the house is now divided into multiple rental apartments. The house is on Lot 5 of Block 6 in Reaney’s First Addition (Whitman County tax parcel 112300006050004). It is currently owned by Dennis R. Wimmer of Pullman. The address prior to 1972 was 1308½ Maiden Lane. City records indicate the house was owned by Dan Dugan in 1953, though the ownership history prior to this is unknown. By 1976, the house had been acquired by current owner Dan Wimmer.

The house has a rectangular ground plan that covers 813 square feet. Because it is built into a steep hillside, only the upper one-and-one-half stories are visible on the primary (northwest) elevation that faces Maiden Lane. The building has a front-facing gable roof with projected eaves, and it is covered by wood shingles. The building is clad in vertical board-and-batten and the foundation is poured concrete.

On the northwest elevation, wood stairs lead to a partially enclosed and covered wood porch (Figure 59). The roof of the porch is a low hip, and is supported by wimple wood pillars. The half-wall that partially encloses the porch is made of horizontal wood planking, and the floor of the porch is made of wood planks. The base of the porch is elevated off of the ground, creating an accessible crawl space. Beneath the porch roof is a projected bay window with a horizontal sliding window in the middle and a narrow single-hung window on either side (the windows throughout the building feature no notable trim). To the right of the window is a replacement single-leaf door with simple wood trim. The upper half-story features a single-sash window.

The southwest elevation reveals that there has been an addition attached to the rear portion of the building (Figure 60). At the foundation level, the original building has a bare concrete foundation while the addition level has been fronted by the wood cladding. On the first level there has been an elevated walkway made of wood planking added, which wraps around the elevation and connects to a back porch. The first level also features two single-hung windows, a single-leaf door, and a large horizontally sliding window. On the upper level there is a small projection in the middle of the elevation. There is a small horizontal sliding window to the left of the projection, a three-sash window in the projection, and two more horizontal sliding window to the right of the projection.



Figure 59. 540 Maiden Lane: three-quarter view of the northeast and northwest elevations, view to azimuth 175°.

On the southeast elevation there is a single-leaf door and a horizontal sliding window in the foundation level (Figure 60). Porches supported by simple wood beams and surrounded by metal railings have been added to the first and second stories. The first story has centrally located single-leaf door flanked on each side by horizontal sliding windows. The second story has a horizontal sliding window, a two-leaf sliding glass door that enters on to the porch, and a three-sash window. All of these features are part of the addition to this elevation, which is covered by a low hip roof. The open gable of the primary roof line is still visible.

On the northeast elevation there are no notable features in the foundation level (Figure 59). The first story has a horizontal sliding window, a small single-hung window, and two slightly larger single-hung windows. The second story has a horizontal sliding window, a single-hung window, and a slightly smaller single-hung window. From this elevation there is no access to the street because a poured concrete retaining wall reaches up to the top of the first level of the home.

This was one of several properties to be classified by City building inspectors as “substandard housing” in the mid-1970s. Many of the alterations identified here appear to have been made since that time. These include a moderate change to the ground plan and extensive changes to the original cladding, windows, and doors. City permitting records indicate a new roof was installed in 1979. In 1982, a permit for the construction of a deck/sunroom addition was issued. Another permit for alterations and additions was issued in 1986. Notes on that permit detail the scope of these alterations: “repair and or replace front porch and wood walk; reside house with 1” x 8” cedar siding; add 22’ x 8’ sun room below existing upper addition and 6’ x 22’ deck; add 22’ x 8’ storage room below sun room.” In 2006, a permit was issued for repairs following a fire. These repairs were extensive and included the replacement of all drywall, insulation, and wiring from the lower and upper units as well as the replacement of exterior doors and handrails and siding on three elevations.

Because of the many replacements, additions, and alterations to the building, we recommend the building is not eligible for listing on National Register of Historic Places.



Figure 60. 540 Maiden Lane: three-quarter view of the southwest and southeast elevations, view to azimuth 10°.

550 Maiden Lane (Building 21)

This is a one-story with full basement Arts and Crafts – Craftsman built in 1910. It is located on the east side of Maiden Lane at the intersection with Ash Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house was originally a single-family dwelling, but has since been divided into multiple rental apartments. It is located on Lot 4 of Block 6 in Reaney’s First Addition (Whitman County tax parcel 112300006040002). It is currently owned by Dennis R. Wimmer of Pullman. The address prior to 1972 was 1310 Maiden Lane.

Whitman County Assessor records indicate the house was built in 1908. Advertisements printed in the *Pullman Herald* indicate the building was the location of “Mrs. Mack’s Hand Laundry” and the residence of Mr. and Mrs. J. E. (Mack) Chambers in the early 1920s. By 1975, the building had been acquired by current owner Dennis Wimmer.

The house has an irregular ground plan that covers 1,376 square feet. The roof is a partially hipped side-facing gable stoop covered with asphalt composition shingles. The walls are clad in wood clapboard and stucco. The foundation is poured concrete.

The primary, northwest elevation faces Maiden Lane (Figure 61a). Poured concrete steps, a retaining wall, and a walkway lead to the front door which is below ground level. The front door is a single-leaf six-panel replacement door surrounded by plain trim. Above the door is a pediment hood with exposed support beams, and wood shingles underneath gable. This hood has projecting eaves with a cornice fascia. To the right of the door is a three-sash window with an oversized middle sash and screens on the smaller sashes. To the right of this window is a single-hung window. Both windows have plain wood trim and lintel.

The southwest elevation has an extended wing with a saltbox roof and asphalt composition sheeting, made to look like brick. The roof has eaves projected and rafters exposed. On the wing is a pair of single-hung windows with plain trim, sill and wood mullion. The wing is supported by two plain wooden posts. The southwest elevation, outside of the wing, has stucco cladding covering original wood cladding. At the foundation level, under the wing, are remnants of the old clapboard siding and two boarded-up windows. To the south of the wing are two single-sash windows with plain trim and sill. The first story has a large single-sash window with plain trim and sill. The roof for the overall southwest elevation has eaves projected and rafters exposed. The south corner of the elevation rests on poured concrete pillars.

The southeast elevation, at basement level, has a plywood-covered crawlspace under the house. The basement story, at the south end, has three single-sash windows. One of the windows is missing glass; all have plain trim. To the right of the windows there is a replacement single-leaf door. To the right of the door are three single-sash windows with original glass and trim. Breaks in the cladding above the basement level indicates the first story originally had four vertical windows, though three of these have been replaced by two horizontal windows of different sizes. The replacement window at the south end of the elevation is a two-sash horizontal window. The central replacement window is three-sash window with an oversized middle sash that is approximately twice as large as the flanking sashes. To the right of this is another replacement window, though it is of the same size and configuration as the original window opening. It is a double-hung window, but the bottom sash is missing. There is a vent under the gable of the roof.

At the eastern end of the northeast elevation, there is a partially enclosed porch addition at the first story (Figure 61b). The porch addition is covered by a saltbox roof and is supported underneath by a poured concrete retaining wall that creates a walkway to a foundation entrance. The porch addition is partially clad in plywood. To the right of the porch addition is a covered doorway with a single-leaf door, which is not original. A projected wall with a pair of windows is to the right of the door. One of the windows is a single-sash, the other a single-hung window. Both have plain wood trim and lintel. To the right of the projection is a two-sash, horizontal sliding window with plain wood trim and lintel. The original cladding around this window is replaced by vertical flushboard.

This building has been significantly altered through the years. The ground plan has been moderately altered. Changes to the original cladding, windows, and doors are all extensive. In some cases, the replacement windows differ in size and configuration to the original window opening, requiring additional alterations to fill in the openings around the replacement windows. This was one of several properties to be classified by City building inspectors as “substandard housing” in the mid-1970s. Only one of the items detailed in the inspection report, however, suggested a structural alteration be made to the building. This was to “replace support post for the overhanging section of the main floor on the south west side of the building.” A permit to “firerate” the furnace area was issued in 1975. A permit for “apartment remodel” was issued in 1981. The building was re-roofed in 2012. Give the extensive alterations, we recommend that this building is not eligible for listing on the National Register.



a



b

Figure 61. 550 Maiden Lane: (a) northwest elevation, view to azimuth 90°; (b) northeast elevation, view to azimuth 185°.

Maple Street Building Descriptions

We inventoried 13 historic properties on the 300, 400, 500, and 600 blocks of Maple Street. Owners of 12 historic properties opted out of the historic building survey (at 310, 415, 440, 445, 505, 515, 643, 645, 655, 665, 675, and 685 Maple Street). There is one modern apartment complex in the inventory area, which is the northwestern corner of Maple and Ash streets (Figure 62). Overviews of the Maple Street survey area are in Figure 63, Figure 64, and Figure 65. The southern end of Maple Street is paved with red bricks in 1912–1913, which remain today (Figure 66) (see Historic Context above).



Figure 62. Modern Apartment complex at 605 Maple Street.

Maple Street Building Descriptions

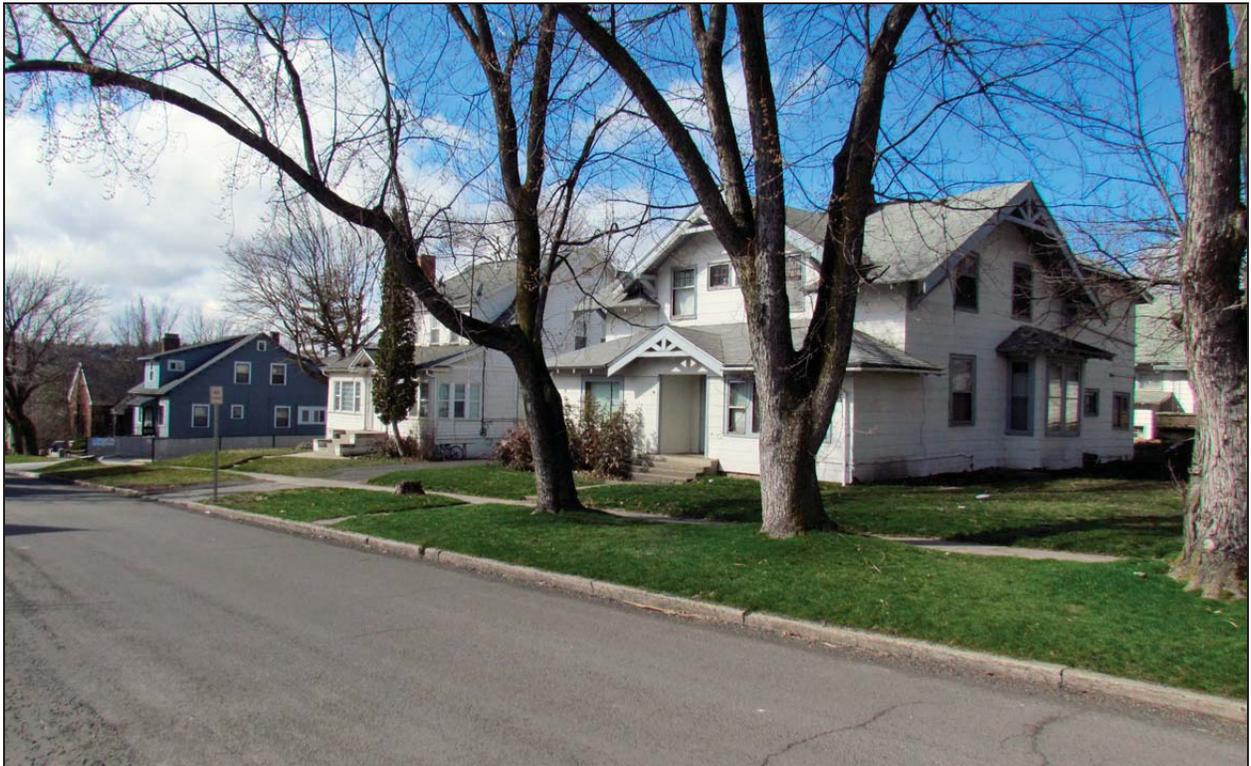
300 Maple Street, Washington Court Apartments (Building 29) (DAHP No. 38-00409)

This is a two-story Craftsman style Multi-Story Apartment Block located on the east side of Maple Street at its intersection with Palouse Street (NW $\frac{1}{4}$ NW $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). This multi-family apartment building is located on Lot 6 of Block 31 of the original Pullman plat (Whitman County tax parcel 108150031060000). It is currently owned by Donald R. Wimmer and Sharon M. Shook of Pullman. The address prior to 1972 was 1100 Maple Street. The building was previously recorded by Mary Reed and Glen Lindeman on 5 June 1986 and was assigned DAHP No. 38-00409.

Announcement of the beginning of construction appeared in the 28 April 1916 issue of the *Pullman Herald*:



a



b

Figure 63. Overviews of the Maple Street survey area: (a) the former parsonage and Greystone Church on the 400 block, view to azimuth 170°; (b) the western side of the 400 block of Maple Street, view to azimuth 255°.



a



b

Figure 64. Overviews of the Maple Street survey area: (a) eastern side of the 600 block and the first hospital in Pullman (excluded), view to azimuth 80°; (b) intersection of Maple and Oak streets, view to azimuth 60°.



a



b

Figure 65. Overviews of the Maple Street survey area: (a) western side of the southern part of the 600 block, view to azimuth 350°; (b) western side of the northern part of the 600 block, view to azimuth 350°.



Figure 66. The remaining brick-paved portion on the 300 block of Maple Street, view to azimuth 210°.

Pullman's latest building enterprise is a two-story apartment house, approximately 40x60 feet, which will be constructed at the corner of Palouse and Star Route streets on College hill. Fred Boreman, local painter and contractor, is sponsor for the new enterprise, and has let the contract for the construction work to Thompson & Campbell, local contractors, who have just completed the alterations on the city hall. Work on the new building will commence today, weather permitting, and the structure will be ready for occupancy by early July. The building, which will cost approximately \$12,000, will be of two stories with a full basement. The basement will accommodate two apartments, and each floor will consist of three well arranged apartments, making eight suites of rooms in the building. The building will be of modern construction brick, stone and stucco, and each of the eight apartments will have modern fixtures, including bath and toilet, with the latest electric ranges for cooking. The entire building will be hot water heated and the best of furnishings will be installed, the apartments will provide much more room than is available in the ordinary flat.

According to an article that appeared in the 24 October 1919 *Pullman Herald*, the Washington Court Apartments were in great demand, noting that every apartment had been occupied since it opened and that there was a long waiting list of prospective tenants. The 1917 Washington State

College Campus Directory lists some of the first tenants in the apartment building, including Daisy B. Fowler, Elizabeth Jones, W. J. Potter, and G. C. Robinson. For a time, Fred Boreman apparently ran his painting business out of the Washington Court Apartments building. In numerous advertisements in the *Pullman Herald*, he characterized this work as “painting, paper hanging, calcimining, and interior decorating”. In 1918, he opened an automobile paint shop on Main Street.

The Boremans retired in 1920, selling the apartments to F. C. Forrest and Dan C. Downen (*Pullman Herald*, 26 March 1920). Four months later, Forrest and Downen sold the apartments to Herschel Hodges for a reported sum of \$18,500 (*Pullman Herald*, 2 July 1920). By 1953, the apartments were owned by Goldie Gilliam, who applied for a 40-ft. television antenna that year. A member of the Wimmer family has owned the apartments at least since 1980, when a permit for re-roofing was issued to Dennis Wimmer. City records list Vanessa Wimmer (Midway Property Management) as owner in 2009.

The building has a rectangular ground plan that covers 3,192 square feet. The roof is flat with plain boxed parapet, and is covered in an unknown material. The walls are primarily common bond brick, but the wing on the northwest elevation is covered in stucco. There is a side-left stretcher-bond chimney. The foundation beneath the main part of the building is poured concrete.

The primary, northwest, elevation faces Maple Street (Figure 67a). Poured concrete steps lead up to a porch with a dressed basalt foundation. The porch extends approximately eight feet from the building and is surrounded by an iron railing. The front entrance is double door (one panel and one large light per door) with plain trim. The doors pivot out and away from the center. On each side of the door there is a large one-sash window flanked by two double-hung two-sash windows with plain surround. These windows have a brick sill and arch radiating voussoirs. The second story above the porch is an added wing supported by two columns. The wing is built in an arcade recess style. The northwest elevation of the second story wing has six twelve-pane single-hung windows, and two twenty-pane windows. All windows have muntins. There are two quarter-round sashes at either end of the main line of windows. All of the main windows have a plain sill.

The southwest elevation of the main building has brick cladding on the first and second stories. There is a replacement door in the foundation which is a two-panel with one large light with moulded trim. The roof has a small projection toward the west end with boxed corners and exposed rafters. There is a modern addition at the rear of the building, which is made of wood shiplap cladding, which is recent. The roof is cornice-boxed and the first story has a two-sash mullion single-pane window, same type window as second story. The southwest elevation of the wing above the porch contains two horizontal sliding single-hung windows with twelve panes and a quarter-round with eight panes. Above the two horizontal sliding windows is a right-triangle window with wood muntins. All windows on the wing have plain trim and sill.

The main section of the southwest elevation at the foundation level has three horizontal vertical-sliding single-hung windows with muntins, plain trim, and a sloping concrete sill. All three have eight panes. One is two-thirds the size of the other two. The first story contains one vertical-sliding single-hung window with plain trim, a brick sill, and eighteen lights. There are also two sets of two double-hung windows of varying size. The larger has twelve panes, while the smaller has eight panes; each has muntins and wood mullion. From left to right, the second story has one two-sash double-hung window with eighteen panes and plain trim; one eight-pane double-hung with muntins and plain trim, one single-sash six-pane with muntins and plain trim; one two-sash double-hung with muntin, plain trim, and two lights; and one two-sash double-hung eight-pane with muntins and plain trim. All of the windows on the first and second stories have arch-radiating voussoirs, with brick sill.



a



b

Figure 67. The Washington Court Apartments: (a) northwest elevation, view to azimuth 125°; (b) three-quarter view of the southeast and northeast elevations, view to azimuth 260°.

The southeast elevation of the original building is covered by a modern addition that has a low hip roof (Figure 67b). The date when the addition was built is unknown, though the photograph attached to the existing SHPI form shows that it was present in 1986. The foundation (basement) level of the addition is open with plain support posts. There are two double-hung two-sash windows beneath the overhang. Each window has eight panes, plain trim, and a poured concrete slip sill. One of these windows is two-thirds the size of the other. There is also a plain wood door with plain trim. In the first story, the left side of the addition has a three-sash horizontal sliding window; the two side sashes are half the size of the middle. In the center of the elevation, there are two two-sash horizontal sliding windows with mullion. A two-sash horizontal sliding window with mullion is at the right end of the elevation. The second story of the addition contains two three-sash windows identical to those on the first story. There is also one window opening that is boarded up.

As with the windows on the southwest elevation, all of the windows on the northeast elevation have the arch-radiation voussoirs (Figure 67b). All windows on the first and second stories have brick slip sills. The foundation level contains four windows. One is a two-sash window with one pane covered by metal. To the right of this is a rectangular single-sash window with plain trim and concrete sill. Next is a two-sash window with plain trim (the left sash is boarded up with three vents in it). Finally, there is a two-sash horizontal sliding window with plain trim and a concrete sill. From left to right on the first story, the windows consist of a pair of double-hung two-sash with eight panes and wood mullion, a pair of double-hung two-sash with wood mullion and brick slip sill, and a single two-sash double-hung with plain trim and eighteen panes. The second story contains three two-sash double-hung windows with eight panes and plain trim, and a two-sash double-hung window with eighteen panes and plain trim. The windows on the front porch wing have the same window configuration as those listed in the southwest elevation.

This building has been significantly altered since its original construction in 1916. Construction of additions have moderately altered the original plan. Changes to the original cladding are slight, through changes both the original doors and windows are extensive. City records indicate the building was re-roofed in 1980 and extensively remodeled in 1986. Most of the 1986 alterations were to the addition at the rear of the building. This remodel entailed a significant alteration to the rear of the building and included the removal of existing siding and windows, installation of a waffle board sheathing, installation of four 8-x-4-ft windows and two 6-x-3-ft window, installation of footing and foundation between posts, and installation of 8-inch clear channel vertical siding. In 2009, a building permit was issued to Midway Property Management to “Remove old stairway. Enlarge apartments. Framing – insulation – electrical – sheetrock.” A boiler change was made in 2011 and some exterior remodeling was in progress when we recorded the building in May 2013.

The extensive alterations to windows and doors, changes in cladding and building plan, and replacement of the roof have led to substantial loss of integrity. Therefore, we recommend that the building is not eligible for listing on the National Register.

330 Maple Street (Building 30)

This is a two-story Colonial Revival built in 1946. It is on the east side of Maple Street three lots south of Whitman Street (NW¹/₄ NW¹/₄ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The building is located on Lot 3 of Block 31 of the original Pullman plat (Whitman County tax parcel 108150031030000). It is currently owned by Community Action Center. The address prior to 1972 was 1106 Maple Street.

The original owner of the building is unknown. City records indicate the house was owned by Claude K. Irwin, Jr. (Duthie Estate) by the late 1960s. In 1969, Irwin applied for a permit to construct “additional units to residential structure.” This was likely an alteration from a duplex to its

current four-unit configuration. The house was owned by O. W. and Bonnie Jean Sevedge of Moscow, Idaho by the mid-1980s. The Sevedges maintained ownership of the property through the early 1990s. The present owner (Community Action Center) acquired the property in the late 1990s.

This multi-family dwelling has a rectangular ground plan that covers 1,209 square feet. The roof is a low hip with a boxed cornice. The roof is covered in asphalt composition shingles, and clapboard is exposed underneath the cornice. There is a center-rear chimney that is brick stretcher-bond with a poured concrete top. The walls are clad in stretcher-bond brick. The foundation is poured concrete.

The northwest is the main elevation, which faces Maple Street (Figure 68a). A poured-concrete walkway leads to concrete steps with a metal railing. At the center of the elevation, there is a partially enclosed concrete porch covered by a gabled roof. The roof is supported by plain posts. On the porch are two four-panel doors with recessed fans and five-pane lights. The doors have plain trim and there is a line of vertical bricks above the door. At the foundation level, there are two single-sash windows with plain trim. At the first story, there are two single-sash windows with plain trim, brick slip sill, and a flat arch. The second story contains four single-hung windows with plain trim and brick slip sill.

The southwest elevation has a poured concrete retaining wall that extends west from the foundation. At the foundation level, there is one single-hung window with plain trim and a poured concrete slip sill. This window is single-sash. There is a coal chute at the eastern end. The windows on the first story all have plain trim, brick slip sill, and a flat arch. From left to right on the first story, there is a pair of two-sash double-hung windows with mullions, one two-sash double-hung window, and one two-sash double-hung window that is half the size of the previous window. The second story contains two two-sash double-hung windows with plain trim and a brick slip sill.

The southeast elevation has a poured concrete walkway that leads to a poured concrete patio. The foundation level of this elevation contains a single-sash window with plain trim, one two-sash double-hung window with plain trim, one single-sash with plain trim, and two plain doors. Both doors are replacements; one has a low concrete step. The central part of the first story has a partially enclosed balcony with a corniced boxed sloped soffit and shed roof supported by three wood posts. The balcony is clad in shiplap siding and is supported underneath by two metal poles. There are wood steps and a wood railing facing northeast that lead to the balcony. The first story contains four two-sash double-hung windows with plain trim and brick slip sill and two plain doors with plain trim. The second story has two single-sash windows with plain trim and brick slip sill and two two-sash double-hung windows with plain trim and brick slip sill.

On the northeast elevation, the foundation level contains one horizontal and one vertical single-sash window with plain trim (Figure 68b). The left half of the first story has one small and one large two-sash double-hung with plain trim, brick slip sill, and flat arch. The right half of the first story has a two-sash double-hung with mullion, plain trim, brick slip sill and flat arch. The second story contains two two-sash double-hung windows with plain trim and brick slip sill.

Changes to the original windows and doors are extensive. Although the original ground plan of the building has not been altered, City records indicate that interior alterations are significant. In 1969, owner Claude K. Irwin, Jr. applied for a permit to construct "additional units to residential structure." This was likely an alteration from a duplex to its current four-unit configuration. The building was re-roofed in 1992. The present owner (Community Action Center) made several alterations to the building in 1999. These include the installation of a new furnace, the replacement of aluminum windows with vinyl windows, and the installation of vinyl soffit and fascia.



a



b

Figure 68. 330 Maple Street: (a) northwest elevation, view to azimuth 130°; (b) three-quarter view of the northeast and northwest elevations, view to azimuth 165°.

The extensive changes to windows and doors, installation of vinyl soffit and fascia, and the new roof have resulted in substantial loss of integrity. Therefore, we recommend that the building is not eligible for listing on the National Register of Historic Places.

340 Maple Street, Pullman Christian Church/Palouse River Counseling Center (Building 31)

This is a two-story Modern – International style building located on the east side of Maple Street one lot south of Whitman Street (NW¼ NW¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The building was originally constructed in 1905 as the Pullman Christian Church, however it was later used by Simpson United Methodist Church as their “Wesley Foundation Building.” In 1977, a conditional use permit application was submitted by the Simpson United Methodist Church to use the building as a “Mental Health Center, Alcoholism Center, and Juvenile Center” called Harvest House. The building now serves as the Palouse River Counseling Center. The house on the adjacent lot to the north (400 Maiden Lane, Building 32) is now called Harvest House. The building is located on Lots 1 and 2 of Block 31 of the original Pullman plat (Whitman County tax parcel 108150031020000). The address prior to 1972 was 1108 Maple Street.

The original Christian Church was built in 1892 at the corner of Olsen and State streets. Throughout the first decade of its existence, the church’s congregation grew to a point where the small building, as the *Pullman Herald* reported on 10 September 1904, was “altogether inadequate for the work intended.” Plans for a larger building on Mechanics Hill (i.e. College Hill) were in the works. Earlier that year, Rev. W. G. Sargent and A. K. Finley toured several Oregon towns looking for ideas to incorporate into the architecture of the new church. They intended to “make the new church one of the handsomest structures in the west (*Pullman Herald*, 9 April 1904).” The spot chosen for the new building was on Star Route (Maple Street), the main thoroughfare between the downtown district and the college, near its intersection with Maiden Lane (Figure 69). A detailed description of the intended building was provided in the *Pullman Herald*:

It will be 60x67 feet on the ground and, as the location invites, a complete high basement ten feet in the clear is being built of concrete. This will provide a Sunday school auditorium and several large class rooms besides a library, kitchen and boiler and fuel room. A low-pressure steam heating plant will be installed to heat the entire building. There will be two main entrances to the basement on the north and south sides. The entrance to the main floor will be upon the west from a porch extending the entire width of the house, inclosed (*sic*) at either end for cloak and toilet room purposes. Two pair of double swing doors will admit to the foyer, which will be the full width of the building, save for the passages leading to cloak rooms and gallery stairs on either end. Several sets of swing doors will admit to the main auditorium, which will be nearly square seated with pews upon an inclined floor, a seating capacity of 464 being arranged for. The pulpit will be directly opposite the main entrances, with study and choir room on either side in the rear. The baptistery will be a model of convenience directly back of the pulpit and under the choir loft, shut from view by double slide doors and covered by floor upon rollers, which carry it into a rear passageway. Steps invisible to the audience will lead into the baptistery. The auditorium will be surrounded upon three sides with a gallery which seats 300 and the choir loft in the rear some three feet lower makes a practically continuous gallery. Space is arranged upon the right of the choir for a pipe organ to be installed later and upon the left for a choir assembly and music room. The entire auditorium will seat nearly 800 without extra chairs and everyone in full view of the platform. The windows will be large and ornamental, the roof plan, cruciform and the

general exterior effect semi-ecclesiastical. It is expected that the building will be inclosed (*sic*) this fall and pushed to completion this winter (*Pullman Herald*, 10 September 1904).

The new church was completed the following summer and dedicated on 11 June 1905. In the end, a few architectural elements from the first church on Olsen Street were incorporated into the new church on Maple Street. The most prominent of these was the large bell tower at the northwest corner of the building. Only the lower half of the tower, below the level of the bell, remains on the present building.

The building has a rectangular ground plan that covers 3,953 square feet. The current roof is most likely a low side gable; but the entire roof was not observable. Historic photographs show that the current configuration is radically different from the original church roof, which had steep cross gables and two towers with steep pyramid roofs. The present roof appears to be covered by ceramic tiles, though these are not visible from the ground. The building is now clad in stucco and brick veneer, but originally appears to have had clapboard siding over most of the building. The foundation is poured concrete. The lower half of the original bell tower is located at the northern end of the building, at the corner of the northwest and northeast elevations. The top of the tower was removed leaving a flat-top tower that extends above the extensively modified roofline.

The primary, northwest, elevation faces Maple Street (Figure 70a). There is a poured concrete walkway and steps and a poured concrete ramp with a metal railing that lead to a partially enclosed porch with a poured concrete foundation and a flat roof supported by eleven metal beams. The foundation level of this elevation contains three single-sash six-pane windows with wood mullions and two single-sash eight-windows with mullion. At the left side of the elevation, the first story contains a sixteen-pane single-sash with a partial window (meaning no trim) but plain slip sill. To the right of this are two twenty-pane single-sash windows with partial window—on this partial window, three panes on each side of the window open. These two windows are separated by a metal mullion. Continuing right, there is an eighteen-pane single-sash partial window then a fifteen-pane single-sash window, of which the right three panes open outward. Finally, at the right end of the elevation, there is a sixteen-pane single-sash window, where the three northernmost panes open outward. All the windows on this elevation have plain stucco slip sill with no trim. There are four single-sash twelve-pane windows with brick surround in the second story of this elevation. All of the windows have stretcher-bond brick details to either side.

At corner of the northwest and southwest elevations, there is a balcony between the foundation level and the first story that forms a covered porch over a side entrance. This balcony has a metal railing and metal support posts and is composed of poured concrete. It is not original to the building. A wood staircase with wood handrails and a new lattice extends up the southwest elevation from the balcony to the second story door. This staircase also is an addition.

The foundation level of the southwest elevation contains a door and seven windows. This is the only portion of the elevation that bears any resemblance to the original church building. Everything above the foundation level has been extensively altered. The placement of the door opening has not changed, but the door is a replacement. A single-light window on the left side of the door appears to be a more recent addition. To the right of the door are six single-sash windows with ten panes each (four panes are hinged to open on each window). This line of windows is visible in historic photographs of the church, but the present windows are replacements. Further to the right is a single-sash twenty-pane window that is also a replacement. The original window was the same size as the other six windows in the foundation, while the current replacement window is considerably larger. Finally, there is a plywood door at the right end of the elevation that is not original. All of the windows on the foundation level have poured concrete slip sill covered with stucco.

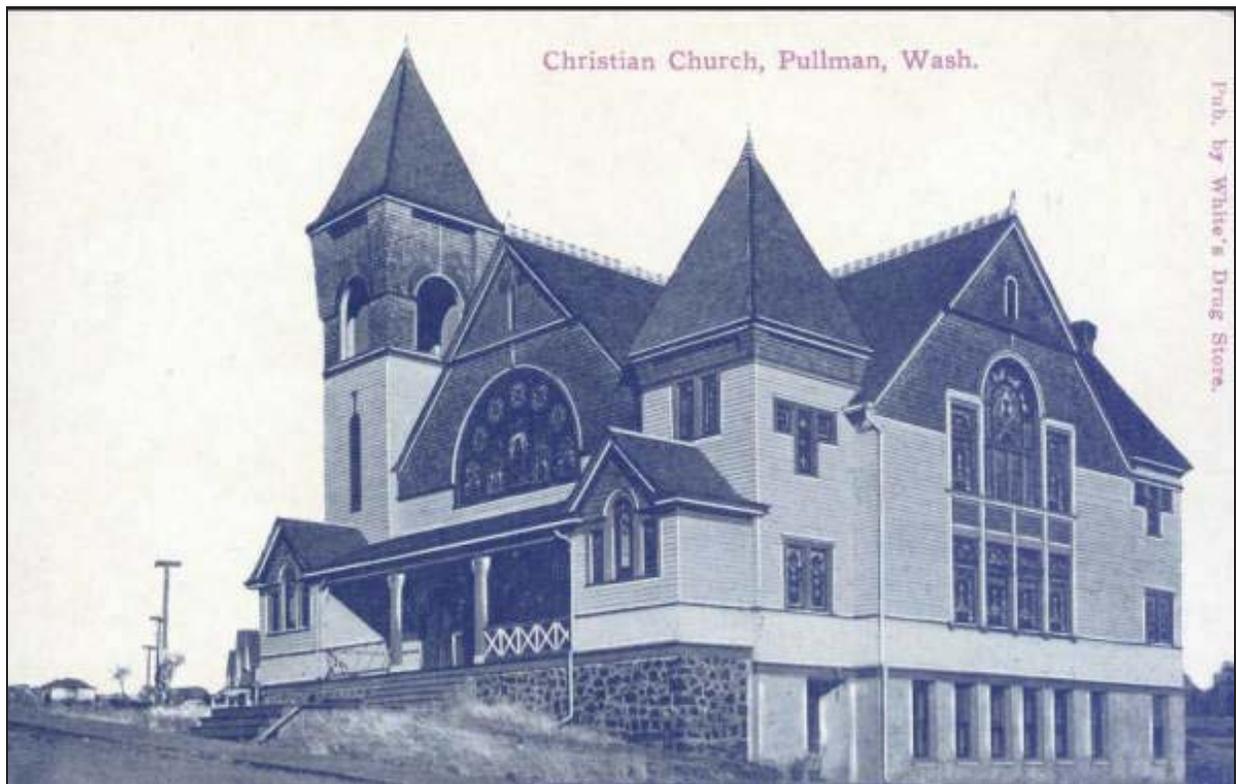
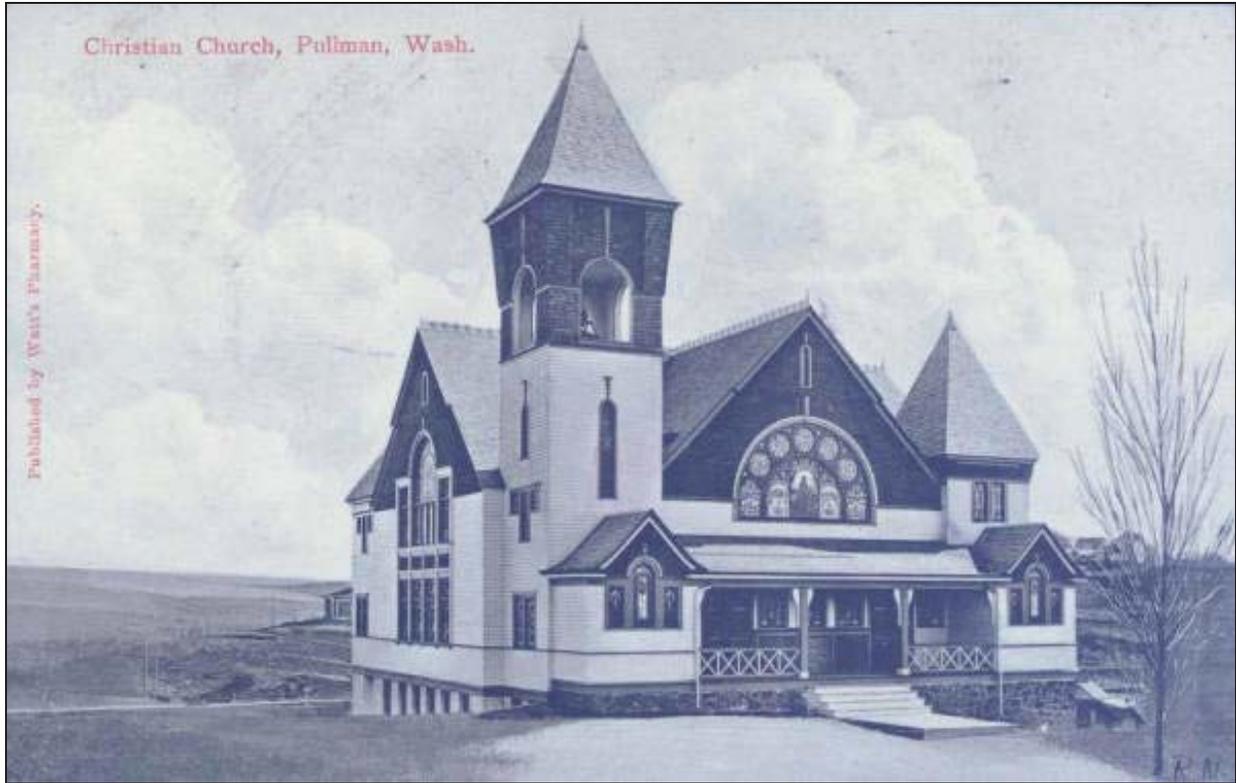


Figure 69. Photographs of the original Pullman Christian Church (Whitman County Historical Society).



a



b

Figure 70. 340 Maple Street: (a) northwest elevation, view to azimuth 125°; (b) northeast elevation, view to azimuth 180°.

There are three windows in the first story of the southwest elevation, none of which were present in the original church. One, above the balcony at the left end of the elevation, is a single-sash eight-pane partial window with a poured concrete slip sill. The other two, located at the opposite end of the elevation, are both two-sash, horizontal sliding windows with brick surround and poured concrete slip sill. The window on the left has etched glass.

We were unable to find a historic photograph showing the southeast (rear) elevation of the original church, though the distance from the easternmost window in the southwest elevation foundation to the present back of the building is greater than it is in the historic photographs. This indicates an extension to the rear of the building, which means none of the current features on the foundation level and first stories of the southeast elevation are original. The foundation level of this elevation contains a two-sash with mullion window (the north window is removed and replaced with a vent) to the left of a single-panel metal door with a poured concrete step (Figure 69). A poured concrete walkway extends from the door to a metal staircase that leads to the first story. Between the door and staircase, there are two two-sash, horizontal sliding windows with one pane larger than the other. These windows have plain trim with a poured concrete slip sill, and are inset approximately six inches. This inset is clad in wood veneer. Between the inset and the right end of the elevation, there are two two-sash partial windows with six panes, no trim, and a poured concrete slip sill. One of these windows is beneath the staircase. A two-sash horizontal sliding window is located at the left end of the first story. To the right of this are three horizontal sliding windows (two three-sash and one two-sash with no trim). Between the horizontal windows and a metal door at the far right end of the elevation is a two-sash double-hung window with wood vertical trim. All windows on this story have a poured concrete slip sill. The door has wood trim.

The foundation level of the northeast elevation has an L-shaped wood retaining wall and a poured concrete walkway that runs along the base of the wall below the ground level (Figure 70b). There is an old doorway that is covered with a wood veneer and five single-sash partial windows with ten lights, a poured concrete slip sill, and no trim. As with the southwest elevation, this elevation has been radically altered above the foundation level. None of the current features are original. Windows in the first story include one two-sash double-hung, one single-sash twelve-light partial window, one single-sash ten-light with no trim and no surround, and two large single-sash windows flanking a three-sash vertical window. All windows on this story have a concrete slip sill. The second story features a round single-sash center window with nine panes that are stained glass with a brick surround. The patio on the right side of the elevation has a northeast-facing replacement double door with two lights and plain trim.

The original church building has undergone significant alterations through the years which have radically changed the exterior appearance of the building. Aside from the configuration of windows and door in the foundation level of the southwest elevation and the lower portion of the original bell tower, there is little resemblance between the present building and the original church constructed in 1905. The outline of the church shown on the 1929–1949 Sanborn fire insurance map is labeled “foundation only” which suggests that most of the alterations to the building occurred before 1949. In 1965, a permit was issued to “remodel [the] Wesley Foundation bldg.” City records also indicate frequent alterations and remodeling throughout the last two decades. In 1996, gas pipe and a commercial cook stove were installed and a nonbearing wall was removed. Three years later, rotted fascia and soffit were replaced. The stucco sign in front of the building was installed in 2004. In 2005, work was completed on the gas furnace, electrical air conditioning system, and an enclosed porch. The basement was remodeled in 2010 and involved the completion of a new reception area. Therefore, we recommend the building is not eligible for the National Register.



Figure 71. The southeast elevation of the Pullman Christian Church/Palouse River Counseling Center at 340 Maple Street, view to azimuth 300°.

435 Maple Street (Building 27)

This is a two-story Colonial Revival built in 1912. It is located on the west side of Maple Street, two lots south of Spaulding Street (NW¼ NW¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally built as a single-family dwelling in 1912, the house is now divided into five rental apartments. Three of the apartments have two bedrooms, the other two have a single bedroom. The house is on Lot 1 of Block 34 of the original Pullman plat (Whitman County tax parcel 112350002020003). It is currently owned by Slocum Apartments LLC and is featured on the company's home web page (<http://www.slocumapartments.com/htmlver/index.php>). It has been owned by Walter Slocum or associated company since the 1960s. Numerous photographs of the building interior can be found on the this web site. The address of the building prior to 1972 was 1207 Maple Street.

The house has an irregular ground plan that covers 1,974 square feet. The roof is an asymmetrical side-facing offset gable, and is covered by composite asphalt shingles. The elevations are clad with wood shingle and clapboard siding. Clapboard primarily covers the first story, while wood shingles cover the second story and the skirt between stories. There are two chimneys. One is exposed on the southwest elevation and constructed of stretcher-bond brick; the other is center-northwest and is a single-stack structure bond. The foundation is poured concrete.

The southeast, primary, elevation faces Maple Street (Figure 72a). A poured concrete walkway with steps leads from the street to the front entrance. A second concrete walkway extends to the driveway that runs along the northeast elevation of the house. The front entrance features poured concrete steps and stoop flanked and supported by brick. There is a large single-leaf door with three top lights; the door and hardware appear to be original. Flanking the door are side panels with four

lights each, and above it is a decorative header and pedimented hood. Pilasters flank both sides of door. The first story, left of the door, has a large single-sash, thirty-light window flanked by narrow single-hung windows with nine top and nine bottom lights. These have basic trim and wood mullions. To the right of the door, there is a set of four single-hung windows, with nine top and nine bottom lights. These windows have simple wood trim and mullions. The second story of this elevation has a wide dormer with a shed roof. Four single-hung windows are in the dormer. Two are original with nine top lights. The other two are replacements with six lights. All have simple wood trim. Gutters are added on this elevation.

The northeast elevation has breaks in the foundation at the east end which are covered up. The foundation level has three single-sash, two-light windows and a single-sash three-light window. The glass in the foundation windows is covered with paint. Starting at the left side of the elevation, the first story contains a set of three single-hung windows with nine top and nine bottom lights, with wood trim and mullions. Continuing right, there is a large window with a large sash on bottom, decorative glass sash on top, and decorative muntins. To the right of this window there is a slight projection with a narrow-hip roof. This projection has a two-sash window with plain trim on bottom and decoration on top. This is flanked by a single-hung window with nine top lights. To the right of the projection, there is a large window with twelve lights on the top sash and a horizontal sliding two-sash bottom window. At the far right end of the elevation, there is a small projected entryway. Side-facing wood steps lead to a wooden stoop. The entryway is covered by a shed roof and pedimented hood over the stairs leading to the stoop. Beneath the covered entryway, there is a narrow four-leg window and a storm door with six top lights and a bottom panel with etched and frosted glass light over the transom. There also is a door facing the southeast that has six top lights and three panels on the bottom. The hardware is replacement, but the door is original and has a plain surround and original doorbells. To the right of the entryway projection, there is a horizontal sliding two-sash window and a single-hung window with nine top lights. The second story of this elevation has three replacement single-hung windows with plain wood trim, a pair of single-hung windows with wood mullion (also replacements), and a set of three single-sash windows with wood mullion. There is a vent under the gable.

On the northwest elevation, at the first story, there is a single-leaf door which is partially replaced and a light above the transom. There is a wing projected off the primary facade which is two stories high. It has a front gable roof with projected eaves and a boxed cornice. On the northeast facing side of this projection, there are two horizontal sliding two-sash windows and a poured concrete walkway extends around the projection to the southwest elevation. The second story has an original single-hung window with nine top lights to the left of the wing, and a replacement single-hung window with single-sash flanking windows on the wing.

The southwest elevation, at the foundation level, contains an opening beneath the projected wing at the rear of the house that is boarded up (Figure 72b). The foundation of this elevation also contains four single-sash two-light windows with a poured concrete sill, and a sixteen-light window. From left to right across the elevation, the first story features a pair of replacement single-hung windows with wood mullion and brackets for missing screens. To the right, there is a single-leaf door and a replacement screen door. A new wood porch and stairs extends from the ground level up to the door. The back quarter of the west end of this elevation is set back from the rest of the elevation. At the west end of the projection and facing northwest, there is a replacement single-hung window. Continuing right along the elevation, there are two small projected sections supported by consoles. Both projections have a shallow hip roof. On the first projection there are two single-hung windows. The second projection has two single-sash windows with eighteen lights. This particular projection is flanked on either side by a single-hung window with nine top lights.



a



b

Figure 72. 435 Maple Street: (a) southeast elevation, view to azimuth 300°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 330°.



Figure 73. Southwest elevation of the house at 435 Maple Street, view to azimuth 30°;

Finally, there is a single-sash window to the left of the chimneys. The chimney is constructed of stretcher-bond brick. The second story of this elevation features a replacement horizontal sliding two-sash window and an original single-sash nine-light window on the recessed area at the rear of the house. Continuing to the right, there is a horizontal sliding two-sash window and a single-hung window with nine top lights and bracket for a missing screen. In the middle of the elevation there is a large two-sash window with a plain sash on bottom and decorative on top. This window also has brackets for a missing screen. To the right of the chimney, there is a single-sash eight-light window. Finally, there is a vent under the gable.

The plan and cladding appear to be intact or only minimally altered, and there have been slight changes to the door. However, most of the original windows have been replaced and the photographs posted on the Slocum Apartments website show the interior has been extensively altered. City records show that a building permit to remodel multi-family units was issued in 1965. This permit indicates the alterations made in 1965 increased the number of apartments from three to the present five-unit configuration. This remodeling was completed by Guy Pitts. A new roof was installed in 1999. In 2010, City building inspectors noted that “the north side foundation, steps, roof, and support column are sagging.” That year, a permit was issued to “rebuild porch deck and stairs” (undoubtedly a reference to the new porch and stairs at the rear of the southwest elevation). In 2012, a permit was issued to “replace concrete steps with wood and Trex [a wood-alternative composite].” The building has been extensively altered and we recommend that it is not eligible for listing on the National Register of Historic Places.

500 Maple Street (Building 25)

This is a two-story Arts and Crafts – Craftsman built in 1925. It is located at the northeast corner of Maple and Spaulding streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle,

1:24,000, 1964/1975). This single-family dwelling is located on the south half of Lot 3 on Block 4 in Reaney's Second Addition (Whitman County tax parcel 112350004030002). It is currently owned by Uniquity LLC. The address before 1972 was 1300 Maple Street.

The house has a rectangular ground plan covering 2,419 square feet with a poured concrete foundation. The roof is a side-facing gable with eaves projected and rafters exposed. The open end of the gable is supported by decorative brackets. The roof is standing-seam metal. Walls are clad primarily with wood shingles. There is a white frieze between the first and second stories.

The northwest elevation is the main elevation and faces Maple Street (Figure 74a). A poured concrete walkway leads to straight wood stairs and a partially enclosed porch with a wooden railing. There is a single-leaf door on the porch that faces the southwest. The elevation is divided into thirds by a central projection that is approximately ten feet wide. The foundation level has openings for identical windows in each third of the elevation. The original windows (single-sash windows with four lights) remain in two of the opening but is missing in the opening beneath the porch. From left to right across the elevation, the first story contains a single-hung window, single-sash window. In the middle of this elevation, there is a projected section, approximately ten feet long, two single-hung windows (in the projection), and a single-sash window. On the porch, there is a single-hung window, with the top sash smaller than the bottom. Above the projected section, but slightly wider, is a shed-roof dormer with two two-sash horizontal sliding windows. The windows on the foundation and first story appear to be original. The second story windows are replacements.

The foundation of the southwest elevation contains two single-sash, three-light windows with simple wood trim and sill (Figure 74b, Figure 75). There are exposed crawl spaces under the corners of this elevation that are supported by poured concrete pillars. The first story has a middle projection that is approximately ten feet wide and contains two small single-sash windows flanking a larger single-hung window, with a smaller sash on top. To the right of the projection is a side-by-side single-sash window with wood mullion. Over the projection is a shed roof awning with eaves projected and rafters exposed. The second story has a two-sash horizontal sliding window. All of the windows of this elevation have simple wood trim and sill.

The southeast elevation has two single-sash windows with four lights at foundation level (Figure 75). The left window has one pane replaced by wood to accommodate a vent. The right window has a missing muntin. On the first story (from L to R), there is a set of three single-sash windows with wood mullions, a single-sash window, and three single-hung windows (one about two-thirds the size of the other two). There is a small addition with shed roof at the northern end of the elevation. The addition is supported by wood posts on poured concrete and brick foundation. It is clad in wood boards on the northeast elevation and wood shingles on the southwest and southeast elevations.

The northeast elevation at foundation level has two openings that are boarded up. The first story has a single-sash window, a replacement single-leaf door, and a horizontal sliding two-sash window. The second story has a two-sash horizontal sliding window with four lights on top and sixteen lights on bottom. At the east end of this elevation there is a poured concrete retaining wall.

Most of the original cladding remains, though other elements of the building have been altered. The ground plan has been slightly altered by the addition to the southeast elevation. Changes to the original windows appears to be moderate and changes to the original doors are extensive. City records indicate that a partial re-roof occurred in 1979 when the owner was Inez Stephenson. The present metal roof as installed in 2005, by which time the property was owned by Eric Whettam of Seattle. The addition and other alterations, especially replacement of the roof, have resulted in substantial loss of integrity. Therefore, we recommend that the building is not eligible for the National Register.



a



b

Figure 74. 500 Maple Street: (a) northwest elevation, view to azimuth 120°; (b) southwest elevation, view to azimuth 30°.



Figure 75. 500 Maple Street: three-quarter view of the southwest and southeast elevations, view to azimuth 345°.

510 Maple Street (Building 24)

This is a one-story Modern–Minimal Traditional built in 1936. It is located on the east side of Maple, one-half block north of Spaulding Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally built as a single-family dwelling, the house is now divided into two rental apartments. The house is located on the north half of Lot 3 on Block 4 in Reaney’s Second Addition (Whitman County tax parcel 112350004030001). It is currently owned by Family Value Real Estate LLC of Tulalip, Washington. The address prior to 1972 was 1302 Maple Street. Two previous owners were identified including Annabelle Schmidt who owned the property in the 1960s and Donna Kalahar of Woodinville, Washington who acquired the property in the late 1990s.

The house has an irregular ground plan that covers 888 square feet. The most prominent roofline is a side-facing gable. Left of center on the primary (northwest) elevation is a wing that incorporates the front entryway. Over this wing is a front-facing gable that connects on the right to a front-sloping shed roof over the entryway. All rooflines feature close eaves. The roof is covered with composite asphalt shingles. There is a chimney made of stretcher bond masonry with a header fixture in the center of the northwest slope of the side gable roof. There is also an added gutter system. The walls are clad with wood shingles and the foundation is poured concrete. Around the southwest and southeast elevations there is a wood picket fence.

The northwest elevation faces Maple Street and is the primary elevation (Figure 76, Figure 77a). A poured concrete sidewalk and stairs lead to the front entry to the house. The single-leaf front door has a light on top and a decorative panel on the bottom, an aluminum storm door, and a decorative surround. The door sits in a wing that is projected from the rest of the building. Also in this wing, to

the left of the door, is a large single-sash, twenty-four light window with simple wood trim; all of the windows share this simple trim. To the right of the door, on the southwest facing side of the wing, is a single-hung window. On the northwest elevation of the primary building are a single-hung window on the first level and a horizontal sliding window in the foundation.

The southwest elevation has two single-hung windows and a small single-sash window in the first level (Figure 77a). A pair of single-sash windows separated by a wood mullion and a single-hung window are in the foundation.



Figure 76. 510 Maple Street: the northwest, primary elevation, view to azimuth 1200°.

The southeast elevation features two single-hung windows in the foundation level to the left of a single-leaf door that accesses the basement apartment. This door has nine lights in the top and a panel on the bottom and is covered by a shed roof hood. A small single-sash window is right of the door. On the first level there are three single-hung windows and a smaller horizontal sliding window.

The northeast elevation has a small wing that is projected from the primary building and creates an enclosed entryway for a side door, which is covered by a side facing gable roof (Figure 77b). There is a single-hung window on the northeast elevation of this covered entryway, while the screen door faces northwest and is met by wood stairs with a metal hand railing. The foundation level of the projected section is partially open. On the northeast elevation of the primary building there is a small single-sash window in the foundation level and a single-hung window in the first level.



a



b

Figure 77. 510 Maple Street: (a) three-quarter view of the northwest and southwest elevations, view to azimuth 85°; (b) northeast elevation, view to azimuth 160°.

A two-car detached garage is located behind the house. The garage has a medium hip roof, flush board cladding, and a poured concrete foundation. The overhead garage doors on the northeast elevation are vinyl replacements. On the northwest elevation there is a single-leaf door that is not original. There is an addition to the southwest elevation of the garage, which according to City records was constructed in 1964 when Annabelle Schmidt owned the property. This addition has a shed roof that extends down from the original hip roof. On this elevation there is a single-sash window. There are no notable features on the southeast elevation of the garage.

The ground plan of the original building is intact and the original doors remain, however there have been slight changes to the original cladding and extensive changes to the windows and roof. Most of the original windows appear to have been replaced. A new roof was installed in 1999. Because of the loss of integrity, we recommend the building is not eligible for listing on the National Register.

520 Maple Street (Building 19)

This is a two-story Tudor Composite located on the east side of Maple, one-half block south of Ash Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally a single-family dwelling, the house is now divided into three rental apartments. The house is located on the south half of Lot 4 on Block 4 in Reaney's Second Addition (Whitman County tax parcel 112350004050002). It is currently owned by John Chapman and Anita Hornback. The address prior to 1972 was 1304 Maple Street.

The build date given in the Whitman County Assessor records is 1933, however the same building shown on the 1929–1949 Sanborn map is also shown on the 1929 Sanborn without modification; the building plan shown on these maps is identical to that of the present building. This suggests the present house was built at least by 1929. The Washington State College campus directories list several different residents between 1932 and 1942. Two residents, John McCoy (Assistant Professor of Veterinary Medicine) and William T. McDermitt (Head of the Department of Fine Arts), are listed as residents in 1932. Three residents are listed in 1936, including K. E. Fitzsimmons (Instructor in Physics), Winfield Sylvester (Technician, Physics Department), and Haakan Bang (Instructor in Pharmacy). Bang continued to live at this residence at least through 1942, when John McCoy is again listed as a resident.

The house has an irregular ground plan that covers 1,896 square feet. The roof is a cross gable with boxed cornice and a narrow fascia. All of the walls are clad in stucco and the foundation is poured concrete.

The northwest elevation faces Maple Street (Figure 78). A concrete sidewalk leads from the street to a set of poured concrete steps and stoop at the front door. The door is a single leaf with vertical flushboard and pronounced metal hinges that are original. The rest of the original hardware has been replaced, except for an original mail slot. The door is an arched semi-circular opening, above which is a small light. To the right of the door on the first story is a large single-sash six-light window with plain trim. On the left side of the entryway, facing northeast, there is a narrow single-sash three-light window. A pair of single-hung windows separated by a wood mullion is located at the far left side of the elevation. Both windows have four lights on top and four lights on bottom. The second story of the northwest elevation has a single-hung window with four top lights and four bottom lights. All windows are original with added storm screens.



a



b

Figure 78. 520 Maple Street: (a) northwest elevation, view to azimuth 120°; (b) three-quarter view of the northeast and northwest elevations, view to azimuth 200°.

The southwest elevation features a center-right chimney made of stretcher-bond brick. A coal chute is located in the foundation to the left of the chimney base. To the right of the chimney, also in the foundation, is a single-sash three-light window. One light has been replaced by metal sheet to accommodate a vent. In the first story of this elevation, to the left of the chimney, is a single-hung window with four top lights and four bottom lights. A projected entryway with a poured concrete stoop is located to the right of the chimney. The doorway has a hip-roofed hood and consoles. The door is a single leaf with three panels on bottom and six lights on top. The second story has a pair of single-hung windows that have four lights on top and four lights on bottom with wood mullion. There is a vent beneath the side-facing gable.

The southeast elevation has poured concrete steps that lead to a basement-level entry door, which is an addition. Also at the foundation level are two horizontal sliding two-sash windows with no trim. The first story of this elevation has a horizontal sliding two-sash replacement window with missing screen and a pair of single-hung windows separated by wood mullion. The windows have six top lights and six bottom lights. To the right of the pair of windows is another single-hung window with the same configuration of lights. The second story features a dormer with shed roof. A single-hung window with four top lights and two bottom lights is located right of center in the dormer. This window is flanked on each side by a single horizontal two-sash window with six top lights and six bottom lights. A pipe extends from the top in the dormer roof.

The northeast elevation, at the foundation level, has two single-sash windows with three lights and no trim (Figure 78b). There are two single-sash windows with six top lights and six bottom lights in the first story. The second story has a set of three single-hung windows with four top lights and four bottom lights, with wood mullions. There is a wood-trimmed attic vent under the gable roof.

Behind the house is a detached two-car garage clad with concrete/asbestos shingle siding. The garage has a flat roof and poured concrete foundation. Two openings for vehicles are present on the southwest elevation. No doors are present. The northeast elevation has a side-by-side single-sash wood mullion window with plain trim. The northwest elevation has a single-leaf door with four panels and a plain surround and a single-sash window with plain trim and sill. There are no notable features on the southeast elevation.

Alterations to the original building include slight changes to the cladding and doors, and moderate changes to the windows. The house interior is divided into three apartments and is now listed as a triplex in City records. In 1963, a permit for work on the open deck porch on the southwest elevation was issued to Lawrence Fletcher. In 1970, owner Paul Wadleigh was permitted to add one unit. A new roof was installed the following year. A certificate of occupancy was issued to Robert Austin in 1984. A new furnace was installed in 1999 and the house was re-roofed in 2003. Alterations and installation of a new roof has compromised the historic integrity of the building. Therefore, we recommend that it is not eligible for listing on the National Register.

530 Maple Street (Building 18)

This is a two-story Modern style house located at the southeast corner of Maple and Ash streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is located on the north half of Lot 4 on Block 4 in Reaney's Second Addition (Whitman County tax parcel 112350004050001). It is currently owned by Gary and Linda Walton. The address prior to 1972 was 1306 Maple Street.

Whitman County Assessor records indicate this house was built in 1904, though the architectural style suggests a more recent build date. The Washington State College campus directories list L. W.

Elder (Assistant Professor of English) as a resident at this address in 1910 and Lucille E. Stover (Library Catalog Assistant) as a resident in 1936. City records indicate the house was owned by E. E. Rowland from the 1960s through at least the mid-1970s. In 1996, the house was owned by Palouse Empire Rentals. An inspection conducted by the City in February of that year determined that the basement did not meet the minimum code requirements for a habitable space. The current owners acquired the property by 2007.

The house has a rectangular ground plan that covers 1,842 square feet. The roof is a front-facing gable and boxed cornice and is covered in asphalt composition shingles. A new gutter system has been added relatively recently. Two single-stacked chimneys with stretcher-bond masonry extend from the top of the gable. The center chimney has a poured concrete fixture on top. The walls are clad with horizontal metal aluminum siding. The foundation is made of coursed rubble-dressed basalt, though the stone is covered by poured concrete on the northwest elevation.

The northwest elevation, which faces Maple Street, is the primary elevation. A poured concrete walkway leads to a poured concrete stoop, which has wood pillars and side-facing wood consoles that support the second story, which projects one foot over the lower half of this elevation. The front door is an original single leaf with vertical wood flush board. The door has a small light at top center, which is covered by a metal decorative grate. The hardware in the door also is original. There is an original storm door with eight lights on top and a panel on the bottom, though the hardware on the storm door is not original. There is an added light fixture to the right of the door. At the foundation level, there is a single-sash twenty-light window flanked by single-hung windows with wood mullions. To the right of this window is another single-hung window with nine lights on bottom and six on top. The second story has a recessed bank of windows with a single-hung window flanked by two half-size single-hung windows.

The southwest elevation, at the foundation level, has two recessed openings for windows. One is boarded up while the other has a two-sash window (one sash is replaced by plywood to accommodate a vent). The first story has a large thirty-light single-sash window and two single-hung windows with a slightly smaller single-hung window on the wing. The eastern part of the first floor elevation is recessed. The second story features a hip roof dormer with side-by-side single-hung windows separated by wood mullion.

The southeast, or rear elevation has a single-hung window on the left side of the first story. To the right of this is a single-hung window then a single-leaf door with three panels on the bottom and a large light on top. The door has replacement hardware. Side-facing wood stairs flanked by a partial metal railing lead to the back door. The wing on this elevation has a shed roof, covered by standing seam metal. The second story has two recessed windows; each is a single-hung window with a small vent under the gable. The carport, which extends out from this elevation was added in 1974.

The northeast elevation has a projected bay of windows with a two-sash at the center, flanked by single-sash two-pane windows. The east end of this elevation has two single-hung windows with plain trim. At the center is one small single-sash window with twenty-four lights. A poured concrete sidewalk and stairs leads to a foundation-level entrance with a replacement door.

Although changes to the plan, windows, and doors are slight, changes to the original cladding are extensive. City records indicate the siding was replaced and a gas furnace installed in 1982. The house was re-roofed again in 1974 and again in 2007. We recommend that the building is not eligible for listing on the National Register because of the extensive changes to cladding and the roof.



a



b

Figure 79. 530 Maple Street: (a) northwest elevation, view to azimuth 120°; (b) northeast elevation, view to azimuth 210°.

615 Maple Street (Building 1)

This is a two-story Arts and Crafts – Craftsman located on the west side of Maple, one-half block north of Ash Street (NW $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally built as a single-family dwelling in 1908, the house is now divided into three rental apartments. The house is located on Lot 1 of Block 6 in Reaney's Second Addition (Whitman County tax parcel 112350006030001). It is currently owned by David C. Knuff of Pullman. The address prior to 1972 was 1403 Maple Street.

Professor Charles A. Barry occupied the house in 1910 (*Pullman Herald*, 10 June 1910) and may have been the initial inhabitant. Barry, who spoke 16 languages, was considered a pioneer member of the Washington State College faculty and served as head of the Modern Languages Department. He had previously served as chief of interpreters at the world's fair and president of the Columbia International Association of Interpreters (*Pullman Herald*, 7 July 1893). After leaving SCW, he emerged from convalescence to become acting president of Whitworth College in Spokane. Barry died at age 64 in 1921. Barry sold the house to Professor George Severance in 1919. Severance was a member of the SCW faculty for 28 years, serving as Head of the Department of Agriculture from 1908–1910 and 1913–1917, and Director of the SCW Experiment Station from 1917–1919. The 1932 Campus Directory lists Harry C. Weller (Assistant Professor of Architectural Engineering) as the resident that year. The person with the longest tenure in this house was Marjorie Pratt, who became the owner in 1937 and continued living here almost continually for the next 72 years (Munch-Rotolo 2010:6).

The house has a rectangular ground plan that covers 2,580 square feet. The roof is a front-facing gable with projecting eaves and rafters exposed around all four sides of the first and second stories and is clad in composite shingles. The front facing eaves have a fascia and triangular brackets. A chimney constructed of stretcher bond masonry is left of center. The first story exterior is clad in clapboard siding with the second story clad in cement stucco; the stucco is not original. The rear section of the second floor on the northwest side is enclosed with plywood cladding. The house rests on a dressed basalt rubble random foundation.

The southeast elevation faces Maple Street (Figure 80a). This elevation features an open porch with plain post support and is partially enclosed on the south. Six poured concrete steps lead to the verandah and a poured concrete walk leads from the street and around the northeast elevation. In the porch is an off-center door with plain lintel and a vertical beveled light on top of door. Above the door is a centered second story balcony set into the hipped roof of the porch. The foundation on this elevation has two single-sash windows. To the left of the door is a single-sash window with sidelights that are double-hung, and to the right is a single-sash window. Above the porch are two single-sash windows with wood muntins and two two-sash windows. In the attic is a single-sash with four lights. All windows on southeast elevation have plain wood trim and slip sills.

On the northeast elevation, there is a horizontal two-sash window and a vertical two-sash window on the foundation; both have new storm windows (Figure 80a). The ground floor features a horizontal two-sash casement, a vertical two-sash casement with new storm windows, a two-sash with new storm windows, and a single-sash casement. The second story features a vertical two-sash window with new storm window and panes for a horizontal two-sash window, but the glass has been removed. The back porch has been enclosed and the foundation fronted by a false wall with horizontal clapboard siding.



a



b

Figure 80. 615 Maple Street: (a) three-quarter view of the southeast and northeast elevations, view to azimuth 285°; (b) northwest elevation, view to azimuth 120°.

The northwest elevation has a recently added accessibility ramp that connects to a set of wooden stairs supported by a poured concrete foundation, all of which are additions (Figure 80b). The original porch is closed off and covered with added horizontal clapboard siding and fronted by an added aluminum storm window. The foundation level is covered by poured concrete and has poured concrete stairs that lead to an entryway. The foundation level has an original single-sash window. The first story has a two-sash window, a small horizontal two-sash window, a single-sash, and a two pane horizontal sliding window. The second story has two vertical single-sash windows, one two-thirds scale. The attic has a single-sash with four panes. All windows on this elevation have plain trim and slip sill.

The southwest elevation has a bay in the back half and a fence bordering the adjacent property. The first floor has four two-sash windows, and the bay has two small and one large two-sash window, with the large window broken but the surrounding intact. The second story in the center has a two-sash windows flanked by the single-sash on each side.

Some alterations to the building exterior have been made over the years. Changes to the building plan, cladding, and doors are slight, but the majority of the windows appear to have been replaced. A television antenna was installed on the roof in 1954. Slight changes have been made to the plan, cladding, windows and doors. A new roof was installed in 1995. In 1999, the front steps and back deck were replaced with Trex® (a wood-alternative composite). The new steps and deck were built to the same dimensions as the originals. The basement was remodeled by current owner David Knuff in 2013. The building has lost a substantial amount of integrity in aggregate due to changes in plan, cladding, roof, and windows. Therefore, we recommend the property is not eligible for listing on the National Register.

620 Maple Street (Building 5)

This is a one-and-one-half-story Queen Anne – Cottage built in 1904. It is located on the east side of Maple, one-half block south of Oak Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is located on the south half of Lot 7 on Block 5 in Reaney's Second Addition (Whitman County tax parcel 112350005070000). It is currently owned by the Wallace Trust. The address prior to 1972 was 1404 Maple Street.

We identified three early owners/occupants from classified advertisements placed in the *Pullman Herald* and the 1917 Washington State College Campus Directory: a Mrs. Michaelson lived here in July 1911, M. K. Snyder was here in 1917, and J. C. Clarke resided here in June 1919. By August 1920, the house was being used as the parsonage of the Christian Church and was occupied by new Pastor H. J. Reynolds and his wife (*Pullman Herald*, 27 August 1920, 10 September 1920). The Reynolds appear to have occupied the residence through 1923. Reynolds officiated at many graduations, weddings, and memorial services, and the house on Maple Street was frequently a meeting place of the Women's Missionary Society and the Willing Workers. Reynolds also led an inter-church war relief effort. In 1922, Reynolds spoke somewhat controversially on the topic of the Ku Klux Klan and shortly thereafter resigned as pastor of the church.

Little is known about the occupancy of the house from the 1920s to 1964, when Pullman City records show that it was owned by Ray Scott. Robert Wallace became owner of the house in the 1970s. Wallace served as an instructor of economics at 11 different colleges and universities from 1935 to 1983, including Punjab University in Lahore, Pakistan and Bangalore University in India. He enlisted in the United States Navy in 1942, eventually achieving the rank of Lieutenant Commander. He and his family moved to Pullman in 1947 to teach economics at Washington State College. Wallace was an avid outdoorsman and wrote numerous articles for various hunting journals. He passed away in April 2005 and was buried in the I.O.O.F cemetery in Pullman with full

military honors (*Moscow Pullman Daily News*, 5 April 2005:4A). The house is still owned by the Wallace Trust.

This single-family dwelling has an irregular ground plan that covers 1,136 square feet. The roof is asphalt composition shingles and has close eaves. There is a stretcher-bond chimney where the northwest wing meets the main part of the building. Wall cladding is clapboard, approximately 40 percent of which is original. The foundation is dressed basalt in a coursed rubble pattern. A poured concrete sidewalk leads to the poured concrete entryway.

The northwest elevation, which faces Maple Street, has a north and west wing. The north wing has two double-hung windows with mullion and a decorated lintel and plain slip sill. The main structure has a large single-sash window with plain trim and slip sill. The west wing has two double-hung casements with mullion, and the space between the primary and west wing is enclosed with a side sloping shed roof.

The southwest elevation has a medium gable face and decorative shingles on gable. The cladding appears original on the southwest elevation. The wing window is double-hung with a decorated lintel and plain slip sill. On the primary structure there is a single-sash with plain trim and slip sill, and two horizontal screen windows.

The southeast elevation has a wing connected by an enclosed porch with a shed roof and metal sheeting. The southeast wing and porch foundation is cinderblock with a crawl space. There is a screen window and side-facing stairs to the southeast. The primary southeast structure has a skirt on the ground level to wing which is replaced, and to the east there is a horizontally sliding casement with plain lintel and slip sill, and a vent at the half-story attic level.

The northeast elevation has a vent at the joiner pipe to the southeast wing. On the ground level there is a double-hung casement with decorated lintel and plain slip sill. There are decorative shingles on the gable with an attic vent. The cladding on this elevation does not appear to be original.

This house has been significantly altered from its original state. As noted above, more than half of the original cladding on this building has been replaced. Changes to the doors are also extensive. The original ground plan has been moderately altered, while changes to windows appear to be slight. Pullman City records indicate that Robert Wallace was issued a permit for piping alteration in 1976. A permit for conversion to 200 amp electrical service as also issued in the 1970s (the date on the record is illegible). The house was re-roofed in 1981 and again in 2005. Therefore, we recommend the property is not eligible for listing on the National Register.

625 Maple Street (Building 2) (DAHP No. 38-00419)

This is a two-story Colonial Revival, which was built in 1930 according to assessor records. The building is on the 1929 Sanborn Fire Insurance map, however. It is located on the west side of Maple, one-half block south of Oak Street (NW $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is located on the south half of Lot 8 of Block 6 in Reaney's Second Addition-Schmelzer Short Plat (Whitman County tax parcel 112350006080002). It is currently owned by Barry and Michelle Johnston. The address prior to 1972 was 1405 Maple Street. The property was already included in the Historic Property Inventory Database as legacy data (DAHP No. 38-00419), though no architectural details are provided on the existing form.



a



b

Figure 81. 620 Maple Street: (a) three-quarter view of the northwest and southwest elevations, view to azimuth 80°; (b) southeast elevation, view to azimuth 308°.

The house has a rectangular ground plan with wings that covers 2,295 square feet. The composite shingle roof is a high side-facing gable with a plain boxed cornice. The exterior is common bond red brick with the front facing shed dormer and wings covered in stucco. There is a common bond brick chimney at the northwest elevation to the right of center, and there is an added gutter system at the second story level.

The southeast elevation faces Maple Street (Figure 82). The southern portion of this elevation has a projecting wing with a low gable roof and features a vertical two-sash eight pane window flanked by two, two-sash four pane windows with plain trim and wooden slip sill. The gable-roofed portico is offset to the right corner and has a suspended light. The supporting columns have detail and the portico roof interior horizontal planking. A four-panel door with two top lights and a lion head knocker lies below a semi-circle arch with plain surround. A poured concrete walk leads to the portico which is composed of four brick stairs topped with tile resembling brick, and a poured concrete driveway is on the Southwest elevation. On the first story, there is a vertical two-sash eight-pane window flanked by two four-pane with shutters and flat arch vertical joint surround. The second-story dormer has three vertical two-sash, equally spaced windows; the top sash has six panes and all windows have decorative shutters and plain lintel.

The northeast foundation has four three-pane single-sash windows with a flat arch vertical joint sill (Figure 82b). The top of the foundation has a vertical joint brick detail. Left of center on the first-story there is a single-sash stained glass window, and right of center there is a vertical two-sash eight top panes flanked by two vertical two-sash windows with four top panes. The second-story has three vertical two-sash windows with eight top panes. Above the windows is an attic vent with horizontal slats.

The northwest elevation foundation has four windows of three single-sash three pane flat arch vertical jointed sill. The first story has a dormer with a front facing shed roof with three vertical two-sash with six top pane windows, and a small vent chimney. The wing has a bay with three vertical two-sash six-pane windows. There is a stained glass door and a screen door, both of which appear to be original. To the west of the door there is a vertical two-sash three-pane window. A poured concrete walk leads from the southwest side to a single poured concrete step below the door.

The southwest elevation at the foundation level has a coal chute. At the first story, the wing has three two-sash windows that are flanked by two vertical two-sash windows. All windows on the wing have decorated lintels. The brick cladding on the first story has vertical two-sash windows, and the second story has a two-sash and one vertical two-sash windows. All brick cladding windows have flat arch vertical joint surround, and a flat arch vertical joint sill.

A two car detached garage sits on the property facing the southeast with new garage doors and weathervane. The walls are corrugated metal roof over wood shakes. The southwest and northeast elevations have two single-sash windows with lintel. The northwest elevation has two single-sash windows with detached lintel surround.

The original plan is intact and the cladding, windows, and doors are mostly original. Pullman City records indicate a permit for electrical wiring was issued to Donald Proctor in 1968. The following year the house was re-roofed. In 1973, a permit was issued to owners Douglas and Nora K. "Kristin" Kunkel for installation of an outside light. The Kunkels maintained ownership at least through 1984, though at that time they resided in Juneau, Alaska. Permits issued to the Kunkels included one for a new furnace in 1976, a kitchen and bath remodel in 1977, construction of the swimming pool in the back yard in 1978, and a basement remodel in 1980. In 2010, a permit was issued to present owner Barry Johnston for re-roofing and gutters.



a



b

Figure 82. 625 Maple Street: (a) primary, southeast elevation, view to azimuth 300°; (b) three-quarter view of the southeast and northeast elevations, view to azimuth 270°.

According to the 1929 and 1949 Sanborn maps, the original roof was composition. Though new, the present roof is composition. Though there is an added gutter system, this is a small change that does not significantly alter the building's historic integrity. The remaining exterior characteristics are original. The construction dates to a period when Washington State College was expanding and College Hill development expanded with the college. Therefore, we recommend that this property is eligible for listing on the National Register of Historic Places under Criterion C.

635 Maple Street, Main House (Building 3)

This is a one-and-one-half-story Arts and Crafts – Craftsman built in 1904. It is located at the southwest corner of Maple and Oak streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally a single-family dwelling, the house is now divided into multiple rental apartments. The house is located on the north half of Lot 8 of Block 6 in Reaney's Second Addition-Schmelzer Short Plat (Whitman County tax parcel 112350006080001). It is currently owned by Allen and Jerriann Schmelzer of Spokane. The address prior to 1972 was 1407 Maple Street.

A plaque on the front door identifies this building as the former home of Osmer L. Waller, vice president of Washington State College. Originally from Ohio, Waller moved to Washington sometime around 1890. In 1893, he was appointed Professor of Mathematics and Civil Engineering at the newly established Washington Agricultural College in Pullman, despite having a limited knowledge of advanced mathematics or engineering. As a result of his limited technical expertise, many of Waller's subsequent positions at the college were administrative rather than instructional. These included Dean of Arts and Sciences and College Vice-President. During the term of Governor Marion Hay (1909–1913), Waller was appointed head of a commission to codify Washington state water laws. Later, he was named Secretary of the Columbia Basin Survey Commission and was one of the most vocal opponents to the construction of Grand Coulee Dam. Waller passed away in 1935 (<http://ntserver1.wsulibs.wsu.edu/masc/finders/cg222.htm>). Washington State College campus directories indicate Waller resided here from at least 1910 to 1932 (and probably until his death in 1935). The 1936 directory lists Louis Maddox (Extension Animal Husbandman) as resident. City of Pullman records indicate the house was owned by Ray Nagel in 1971 and Nancy Whitehead and Jack Jenkins of Davenport, Iowa in 1987.

The house has a rectangular ground plan that covers 2,742 square feet. The roof is covered in wood shakes and the primary roof is a medium hip with eaves projected and rafters exposed, with a low hip roof over the porch. It has a gutter system. The building sits on a random rubble basalt foundation and is clad in wood shingles. There is a two-stack, center left chimney and the stacks are linked at the base. The front-facing elevation has a balcony above the porch roof covered by a shed roof supported by plain posts.

The southeast elevation, which faces Maple Street, features an open porch right of center that has a hanging light fixture and flat wood planking ceiling (Figure 83). An enclosed porch is left of the door and features ventilation breaks on the southwest, southeast, and northeast elevations. A brick walkway leads to the poured concrete porch topped with red tile and the door is a plain-surround single-leaf two-panel with four stained glass lights. The enclosed porch has a second entrance flanked by two single-sash twelve pane windows, and the southeast elevation has three side-by-side single-sash twelve pane windows with bull nose in the upper right and left corners. These windows have a wooden slip sill but no trim. The east section of the elevation has a bay with three windows; the center window is a two-sash with the top sash having six panes. This center window is flanked by two double twelve-pane windows. The balcony has two double-hung windows with eight lights equally spaced and the door is same as the front door on the first story but left of center.



a



b

Figure 83. 635 Maple Street: (a) primary, southeast elevation, view to azimuth 300°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 350°.

The northeast foundation has two large single-sash windows on the corners of the elevation, and a centered single-sash window with eight panes. On the ground level there is a large single-sash window to the southeast, to the northwest there is one single-sash double-hung window with eight panes, and two single-sash double-hung windows with fifteen panes. There is also a small projection approximately three by twelve feet from the primary façade supported by three pairs of scrolled brackets. On the half-story, there is a break in the wood shingles above the first story and the primary roof is broken by two windows covered by shed roofs. At this elevation there is a double-hung window with a top sash of eight panes. The brick walkway continues on this side of the house, surrounding a brick patio which has four poured concrete semi-circular stairs, and the walkway continues to the outbuilding in the back yard (see Building 4).

The northwest elevation has a poured concrete patio with decorative iron fencing, and dressed basalt stairs and walkway into the backyard (). At the north end ground level there is a door to the patio, and to the west of the house there is a two-sash window with mullion, with one sash being double the size of the other. Further to the west is a double-hung casement with the top sash having six panes and the bottom made of stained glass. The interior and screen door appear to be original and all windows on this elevation have plain trim and slip sill. At the west end there is a projection, in the northeast elevation of the projection there is a single-leaf door with four panel, an added pet door, and transom flush and blinds. The addition has two three-sash windows with wood mullion, and the top corners of outside sashes are bullnose, and the addition has a low-hip roof with new gutters.



Figure 84. 635 Maple Street: the northwest elevation and back yard, view to azimuth 115°.

The southwest elevation has a brick walkway extending down the elevation to the sidewalk. The foundation level has a small opening at the west end, two large windows, the left of which is broken with a covering storm window while the right is a single-sash eight pane and one small square

single-sash four pane window. Finally, at the center there is an eight pane single-sash flanked by two two-pane single-sash windows. There is a projected bay at the southeast end of the southwest elevation. The porch on this elevation has three three-sash windows with mullions, and each sash has twelve panes; the upper left pane of the left sash and the upper right pane of the right sash are bullnose. The ground level at the bay has a double-hung window with an eight-pane top sash, flanked by two double-hung windows with six panes in the top sash. To the left of the bay there are two double-hung windows with the top sash having eight panes. The back addition has one six-sash window with mullions. At the half-story there are two dormers with a shed roof. The dormer to the left has two double-hung four-pane windows and the right has a double-hung with an eight-pane top sash.

This house retains much of its architectural integrity. The plan, cladding, and doors appear to be intact. The majority of windows appear to be original, but replacement screens and aluminum storm windows are throughout. Permitted alterations to the house include a new roof in 1969, a remodel that included alterations to interior outlets and lighting in 1971, and a new gas furnace in 2007. This large house marks an early period of residential expansion on College Hill. The building is a largely intact example of the Arts and Crafts architectural movement. Therefore, we recommend that it is eligible for listing on the National Register of Historic Places.

635 Maple Street, Outbuilding (Building 4)

This is a two-story Arts and Crafts – Craftsman style agricultural outbuilding located at the southwest corner of Maple and Oak streets (NW $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). It is located behind the main residence at 635 Maple (see Building 3) and appears to have been built around the same time (1904). It is shown on the 1908 Sanborn map as a stable and on the 1929 map as an auto garage, but it is now used for storage. The building covers 625 square feet on Lot 6 of Block 6 in Reaney's Second Addition-Schmelzer Short Plat (Whitman County tax parcel 112350006080001). It is currently owned by Allen and Jerriann Schmelzer of Spokane.

The building is set against the hill slope so that the second story is at ground level on the higher, southeast side. It has a rectangular ground plan with an addition on the northwest elevation. The foundation is poured concrete. The walls are clad with replacement horizontal wood planking on the southwest and southeast elevations. The northeast and northwest elevations are clad with shiplap that appears to be original. The roof is asphalt composition shingles and a side gable with projecting eaves and exposed rafters. The original wood shake roof was removed. Aluminum gutters have been added and there is buckling on the first and second stories.

The southeast elevation has a poured concrete driveway leading to the walk-in door that is left of center (Figure 85a). The door is a single panel with a single light and plain trim. To the south is a horizontal sliding plain trim window. This elevation has been extensively modified, changing the building from a garage to its present configuration. The northeast elevation has a single-pane rectangular window. The dressed basalt walkway from the main house (Building 3) connects to the northwest elevation and joins with a poured concrete patio below a solid wooden door. This door has a hand-forged latch and plain trim and slip sill. The ground level of the northwest elevation has a single-sash window and the second story has two single-sash eight-pane windows with mullions. The southwest elevation at the ground level has a two-sash window with vertical mullion and plain trim and slip sill. At the second story is a single-sash four pane window, and a boarded opening next to the addition (Figure 85b).



a



b

Figure 85. 635 Maple Street outbuilding: (a) southeast elevation, view to azimuth 308°; (b) southwest elevation, view to azimuth 70°.

Alterations to the original stable include changes to the ground plan, roof, cladding, and windows. These alterations have substantially degraded the integrity of the building. Therefore, we recommend the building is not eligible for listing on the National Register.

Conclusions and Management Recommendations

We summarize changes to building plans, cladding, windows, and doors in Table 8. These are the major characteristics that reflect the architectural integrity. The important aspects or qualities of integrity include design, materials, and workmanship. Whenever a building is altered by additions that change the building plan, or by replacement or alterations of windows, doors, cladding, and roofs, the historic integrity of that building is decreased. The National Register requires that properties possess integrity of design, materials, and workmanship. These are critical aspects of integrity that are used in evaluating whether buildings are eligible for listing on the National Register under Criterion C, Design, Construction, and Work of a Master (Townsend et al. 1993).

The use and original combinations of certain materials in construction reflect the original preferences of the architects and builders, and can reveal availability of types of materials and technologies. When windows, doors, or cladding are replaced, these important aspects of integrity are lost. Workmanship and design reflects the skills of builders and architects. Alterations to buildings removes the integrity of workmanship and design (Townsend et al. 1993:19). Therefore, changes to building plans, cladding, windows, and doors can each lead to loss of integrity sufficient to lead us to recommend that a building is not eligible for listing on the National Register.

Though buildings with only slight alterations may retain most of the historic integrity, most buildings in this inventory have extensive alterations. This has led to a significant loss in integrity in most inventoried properties. Extensive replacements of windows or roofs can lead to a recommendation that the building is not eligible, even if the rest of the building is intact. Only three buildings remain largely intact. These are the houses at 625 Maple Street, 635 Maple Street, and 410 Spaulding Street. All other building have lost a substantial amount of integrity.

We list the architectural styles, year of construction, and National Register eligibility recommendations for the 36 inventoried building in Table 9. We recommend that three historic properties are eligible for listing on the National Register under Criterion C, Design, Construction, and Work of a Master. The are the houses at 410 Spaulding Street, 625 Maple Street, and 635 Maple Street. We recommend that one historic property, a 1908 Art and Crafts – Craftsman at 455 Campus, is eligible for the National Register under Criterion B, Important Persons. Several people of local and national prominence owned and lived at the house. These include R. W. Thatcher, an important agricultural scientist. and James S. Klemgard, a Palouse pioneer who arrived in 1882 and went on to become a stockholder in the Pullman State Bank, agricultural researcher, and acting master of the state grange.

Thus, we recommend that three historic properties are eligible of list on the National Register under Criterion C and we recommend that one historic property is eligible for listing on the National Register under Criterion B, though that house has extensive modifications to windows and doors. We recommend that 32 of 36 inventoried historic properties are not eligible for listing on the National Register. Many of the buildings in the survey area were not inventoried because owners opted out of the inventory. Therefore, based on present information we recommend that that the inventory area is not eligible for listing on the national Register as a District. Though we recommend that most buildings are not eligible for the National Register, many may meet the criteria for listing on the Pullman Historic Register. We encourage homeowners to submit nominations to the local historic register.

Table 8. Summary of Building Modifications.

Building	Address	Changes to Ground Plan	Changes to Cladding	Changes to Windows	Changes to Doors
1	615 Maple St.	slight	slight	extensive	slight
2	625 Maple St.	intact	intact	intact	intact
3	635 Maple St.	intact	intact	slight	intact
4	635 Maple St.	slight	moderate	slight	moderate
5	620 Maple St.	moderate	extensive	slight	extensive
6	405 Oak St.	intact	intact	extensive	intact
7	415 Oak St.	slight	intact	extensive	extensive
8	635 Opal St.	moderate	slight	extensive	extensive
9	450 Oak St.	slight	moderate	extensive	slight
10	450 Oak St.	extensive	intact	extensive	extensive
12	675 Opal St.	intact	intact	extensive	extensive
13	455 Campus St.	slight	extensive	extensive	extensive
14	445 Campus St.	intact	slight	extensive	extensive
15	450 Campus St.	intact	intact	extensive	slight
16	440 Ash St.	slight	moderate	extensive	moderate
17	400 Ash St.	moderate	intact	slight	moderate
18	530 Maple St.	slight	extensive	slight	slight
19	520 Maple St.	intact	slight	moderate	slight
20	535 Maiden Ln.	intact	intact	moderate	slight
21	550 Maiden Ln.	moderate	extensive	extensive	extensive
22	540 Maiden Ln.	moderate	extensive	extensive	extensive
23	530 Maiden Ln.	extensive	moderate	extensive	extensive
24	510 Maple St.	intact	slight	extensive	intact
25	500 Maple St.	slight	intact	moderate	extensive
26	410 Spaulding St.	intact	intact	slight	intact
27	435 Maple St.	intact	intact	extensive	slight
28	625 Opal St.	slight	intact	moderate	slight
29	300 Maple St.	moderate	slight	extensive	extensive
30	330 Maple St.	intact	intact	extensive	extensive
31	340 Maple St.	extensive	extensive	extensive	extensive
32	400 Maiden Ln.	slight	moderate	moderate	extensive
33	410 Maiden Ln.	extensive	extensive	intact	intact
34	430 Maiden Ln.	extensive	extensive	moderate	extensive
35	440 Maiden Ln.	intact	extensive	moderate	intact
36	460 Maiden Ln.	extensive	slights	extensive	slight
37	470 Maiden Ln.	intact	intact	moderate	intact

Table 9. Summary of Architectural Styles and National Register Recommendations.

Building	Address	Architectural Style	Year Built	Eligibility Recommendation
1	615 Maple St.	Arts and Crafts – Craftsman	1908	not eligible
2	625 Maple St.	Colonial Revival	1930	eligible
3	635 Maple St.	Arts and Crafts – Craftsman	1904	eligible
4	635 Maple St.	Arts and Crafts – Craftsman	1904	not eligible
5	620 Maple St.	Queen Anne – Cottage	1904	not eligible
6	405 Oak St.	Beaux Arts – American Renaissance	1920	not eligible
7	415 Oak St.	Arts and Crafts – Craftsman	1914	not eligible
8	635 Opal St.	Beaux Arts – Classical Revival	1908	not eligible
9	450 Oak St.	Arts and Crafts – Craftsman	1913	not eligible
10	450 Oak St.	Arts and Crafts – Craftsman	1913	not eligible
12	675 Opal St.	Beaux Arts – Classical Revival	1917	not eligible
13	455 Campus St.	Arts and Crafts – Craftsman	1908	eligible
14	445 Campus St.	Vernacular	1937	not eligible
15	450 Campus St.	Modern – Minimal Traditional	1946	not eligible
16	440 Ash St.	Arts and Crafts – Craftsman	1919	not eligible
17	400 Ash St.	Gothic – Late Gothic Revival	1935	not eligible
18	530 Maple St.	Modern	1904	not eligible
19	520 Maple St.	Tudor – Composite	1933	not eligible
20	535 Maiden Ln.	Modern	1965	not eligible
21	550 Maiden Ln.	Arts and Crafts – Craftsman	1910	not eligible
22	540 Maiden Ln.	Arts and Crafts – Craftsman	1904	not eligible
23	530 Maiden Ln.	Arts and Crafts – Rustic/National Park	1903	not eligible
24	510 Maple St.	Modern – Minimal Traditional	1936	not eligible
25	500 Maple St.	Arts and Crafts – Craftsman	1925	not eligible
26	410 Spaulding St.	Tudor – Elizabethan	1925	eligible
27	435 Maple St.	Colonial Revival	1912	not eligible
28	625 Opal St.	Arts and Crafts – Craftsman	1910	not eligible
29	300 Maple St.	Arts and Crafts – Craftsman	1916	not eligible
30	330 Maple St.	Colonial Revival	1946	not eligible
31	340 Maple St.	Modern – International	1905	not eligible
32	400 Maiden Ln.	Colonial Revival	1919	not eligible
33	410 Maiden Ln.	Tudor – Composite	1904	not eligible
34	430 Maiden Ln.	Arts and Crafts – Craftsman	1926	not eligible
35	440 Maiden Ln.	Colonial Revival	1938	not eligible
36	460 Maiden Ln.	Colonial Revival	1928	not eligible
37	470 Maiden Ln.	Tudor – Composite	1930	not eligible

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Spokane Daily Chronicle

Map of Pullman and the State College of Washington, 1920

Sanborn Fire Insurance Maps, Pullman, Washington. 1891, 1893, 1896, 1908, 1929, 1949. Sanborn Map Company, New York.

Appendix 1: Historic Property Inventory Forms



Historic Inventory Report

Location

Field Site No. 1 **DAHP No.**

Historic Name:

Common Name:

Property Address: 615 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350006030001

Plat/Block/Lot Reaney's 2nd Addition/Block 6/Lot 1

Acreage 0.06

Supplemental Map(s)

<u>Township/Range/EW</u>	<u>Section</u>	<u>1/4 Sec</u>	<u>1/4 1/4 Sec</u>	<u>County</u>	<u>Quadrangle</u>
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473712

Northing: 528087

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory **Date Recorded:** 04/22/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Knuff, David C.

Owner Address: 615 NE Maple St.

City: Pullman

State: WA

Zip: 99163

Classification: Building

Resource Status:

Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 2		
Changes to Plan: Slight	Structural System: Balloon Frame		
Changes to Original Cladding: Slight	Changes to Interior: Unknown		
Changes to Other: Slight	Changes to Windows: Extensive		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Wood - Clapboard Veneer - Stucco Wood - Plywood	Gable - Front Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Stone	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1908 Built Date	
1954 Remodel	
1995 Remodel	
1999 Remodel	
2013 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places:No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Some alterations to the building exterior have been made over the years. Changes to the building plan, cladding, and doors are slight, but the majority of the windows appear to have been replaced. A television antenna was installed on the roof in 1954. Slight changes have been made to the plan, cladding, windows and doors. A new roof was installed in 1995. In 1999, the front steps and back deck were replaced with Trex® (a wood-alternative composite). The new steps and deck were built to the same dimensions as the originals. The basement was remodeled by current owner David Knuff in 2013. The building has lost a substantial amount of integrity in aggregate due to changes in plan, cladding, roof, and windows. Therefore, we recommend the property is not eligible for listing on the National Register.

**Description of
Physical
Appearance:**

This is a two-story Arts and Crafts – Craftsman located on the west side of Maple, one-half block north of Ash Street. Originally built as a single-family dwelling in 1908, the house is now divided into three rental apartments. The address prior to 1972 was 1403 Maple Street.

The house has a rectangular ground plan that covers 2,580 square feet. The roof is a front-facing gable with projecting eaves and rafters exposed around all four sides of the first and second stories and is clad in composite shingles. The front facing eaves have a fascia and triangular brackets. A chimney constructed of stretcher bond masonry is left of center. The first story exterior is clad in clapboard siding with the second story clad in cement stucco; the stucco is not original. The rear section of the second floor on the northwest side is enclosed with plywood cladding. The house rests on a dressed basalt rubble random foundation.

The southeast elevation faces Maple Street. This elevation features an open porch with plain post support and is partially enclosed on the south. Six poured concrete steps lead to the verandah and a poured concrete walk leads from the street and around the northeast elevation. In the porch is an off-center door with plain lintel and a vertical beveled light on top of door. Above the door is a centered second story balcony set into the hipped roof of the porch. The foundation on this elevation has two single-sash windows. To the left of the door is a single-sash window with sidelights that are double-hung, and to the right is a single-sash window. Above the porch are two single-sash windows with wood muntins and two two-sash windows. In the attic is a single-sash with four lights. All windows on southeast elevation have plain wood trim and slip sills.

On the northeast elevation, there is a horizontal two-sash window and a vertical two-sash window on the foundation; both have new storm windows. The ground floor features a horizontal two-sash casement, a vertical two-sash casement with new storm windows, a two-sash with new storm windows, and a single-sash casement. The second story features a vertical two-sash window with new storm window and panes for a horizontal two-sash window, but the glass has been removed. The back porch has been enclosed and the foundation fronted by a false wall with horizontal clapboard siding.

The northwest elevation has a recently added accessibility ramp that connects to a set of wooden stairs supported by a poured concrete foundation, all of which are additions. The original porch is closed off and covered with added horizontal clapboard siding and fronted by an added aluminum storm window. The foundation level is covered by poured concrete and has poured concrete stairs that lead to an entryway. The foundation level has an original single-sash window. The first story has a two-sash window, a small horizontal two-sash window, a single-sash, and a two pane horizontal sliding window. The second story has two vertical single-sash windows, one two-thirds scale. The attic has a single-sash with four panes. All windows on this elevation have plain trim and slip sill.

The southwest elevation has a bay in the back half and a fence bordering the adjacent property. The first floor has four two-sash windows, and the bay has two small and one large two-sash window, with the large window broken but the surrounding intact. The second story in the center has a two-sash windows flanked by the single-sash on each side.

**Major
Bibliographic
References:**

(1) City of Pullman permitting records.

Photos



View to 308 TN
Front SE facade
2013



View to 270 TN
Front SE facade
2013



View to 280 TN
NE elevation
2013



View to 175 TN
NE-NW elevations
2013



View to 120 TN
NW elevation
2013



View to 335 TN
SW elevation
2013



View to 100 TN
SE elev of garage
2013



View to 5 TN
SE-SW elev of garage
2013



Historic Inventory Report

Location

Field Site No. 2 DAHP No.

Historic Name:

Common Name:

Property Address: 625 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350006080002

Plat/Block/Lot Reaney's 2nd Addition-Schmelzer Short Plat/Block 6/Lot 8

Acreage 0.05

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473765

Northing: 528149

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/22/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Johnston, Barry/Michelle

Owner Address: 625 NE Maple St.

City: Pullman

State: WA

Zip: 99163

Classification: Building

Resource Status:

Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House		Current Use: Domestic - Single Family House	
Plan: Rectangle	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Intact		Changes to Interior: Unknown	
Changes to Original Cladding: Intact		Changes to Windows: Intact	
Changes to Other: Intact			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Colonial - Colonial Revival	Brick - Common Bond Veneer - Stucco	Gable - Side Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Single Family - Side Gable		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1929 Built Date	
1968 Remodel	
1969 Remodel	
1976 Remodel	
1977 Remodel	
1980 Remodel	
2010 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: Yes

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No



Historic Inventory Report

Statement of Significance:

The original plan is intact and the cladding, windows, and doors are mostly original. Pullman City records indicate a permit for electrical wiring was issued to Donald Proctor in 1968. The following year the house was re-roofed. In 1973, a permit was issued to owners Douglas and Nora K. "Kristin" Kunkel for installation of an outside light. Other changes made to the house during the Kunkel's ownership include installation of a new furnace in 1976, a kitchen and bath remodel in 1977, construction of the swimming pool in the back yard in 1978, and a basement remodel in 1980. In 2010, a permit was issued to present owner Barry Johnston for re-roofing and gutters. According to the 1929 and 1949 Sanborn maps, the original roof was composition. Though new, the present roof is also composition. Though there is an added gutter system, this is a small change that does not significantly alter the building's historic integrity. The remaining exterior characteristics are original. The construction dates to a period when Washington State College was expanding and College Hill development expanded with the college. Therefore, we recommend that this property is eligible for listing on the National Register of Historic Places under Criterion C (Design, Construction, and Work of a Master).

**Description of
Physical
Appearance:**

This is a two-story Colonial Revival located on the west side of Maple, one-half block south of Oak Street. The address prior to 1972 was 1405 Maple Street. The property was already included in the Historic Property Inventory Database as legacy data (DAHP No. 38-00419), though no architectural details are provided on the existing form.

According to Whitman County Assessor records, the house was built in 1930, though it appears on the 1929 Sanborn Fire Insurance map without modification to the present ground plan. The house has a rectangular ground plan with wings that covers 2,295 square feet. The composite shingle roof is a high side-facing gable with a plain boxed cornice. The exterior is common bond red brick with the front facing shed dormer and wings covered in stucco. There is a common bond brick chimney at the northwest elevation to the right of center, and there is an added gutter system at the second story level.

The southeast elevation faces Maple Street. The southern portion of this elevation has a projecting wing with a low gable roof and features a vertical two-sash eight pane window flanked by two, two-sash four pane windows with plain trim and wooden slip sill. The gable-roofed portico is offset to the right corner and has a suspended light. The supporting columns have detail and the portico roof interior horizontal planking. A four-panel door with two top lights and a lion head knocker lies below a semi-circle arch with plain surround. A poured concrete walk leads to the portico which is composed of four brick stairs topped with tile resembling brick, and a poured concrete driveway is on the Southwest elevation. On the first story, there is a vertical two-sash eight-pane window flanked by two four-pane with shutters and flat arch vertical joint surround. The second-story dormer has three vertical two-sash, equally spaced windows; the top sash has six panes and all windows have decorative shutters and plain lintel.

The northeast foundation has four three-pane single-sash windows with a flat arch vertical joint sill. The top of the foundation has a vertical joint brick detail. Left of center on the first-story there is a single-sash stained glass window, and right of center there is a vertical two-sash eight top panes flanked by two vertical two-sash windows with four top panes. The second-story has three vertical two-sash windows with eight top panes. Above the windows is an attic vent with horizontal slats.

The northwest elevation foundation has four windows of three single-sash three pane flat arch vertical jointed sill. The first story has a dormer with a front facing shed roof with three vertical two-sash with six top pane windows, and a small vent chimney. The wing has a bay with three vertical two-sash six-pane windows. There is a stained glass door and a screen door, both of which appear to be original. To the west of the door there is a vertical two-sash three-pane window. A poured concrete walk leads from the southwest side to a single poured concrete step below the door.

The southwest elevation at the foundation level has a coal chute. At the first story, the wing has three two-sash windows that are flanked by two vertical two-sash windows. All windows on the wing have decorated lintels. The brick cladding on the first story has vertical two-sash windows, and the second story has a two-sash and one vertical two-sash windows. All brick cladding windows have flat arch vertical joint surround, and a flat arch vertical joint sill.

A two car detached garage sits on the property facing the southeast with new garage doors and weathervane. The walls are corrugated metal roof over wood shakes. The southwest and northeast elevations have two single-sash windows with lintel. The northwest elevation has two single-sash windows with detached lintel surround.

**Major
Bibliographic
References:**

(1) City of Pullman permitting records.

Photos



View to 300 TN
SE elevation
2013



View to 270 TN
SE-NE elevations
2013



View to 250 TN
NE elevation
2013



View to 140 TN
NW elevation
2013



View to 50 TN
SW elevation
2013



View to 85 TN
SW elevation
2013



View to 100 TN
Entryway detail
2013



View to 308 TN
SE elev of garage
2013



View to 25 TN



Historic Inventory Report

SW elevation of garage
2013



Historic Inventory Report

Location

Field Site No. 3

DAHP No.

Historic Name:

Common Name: Waller, Osmer L., House

Property Address: 635 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350006080001

Plat/Block/Lot Reaney's 2nd Addition-Schmelzer Short Plat/Block 6/Lot 8

Acreage 0.06

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473804

Northing: 528208

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory

Date Recorded: 04/23/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Schmelzer, Allen/Jerriann

Owner Address: 6310 S. Dorset Rd.

City: Spokane

State: WA

Zip: 99224

Classification: Building

Resource Status:

Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 1.5		
Changes to Plan: Intact	Structural System: Balloon Frame		
Changes to Original Cladding: Intact	Changes to Interior: Unknown		
Changes to Other: Intact	Changes to Windows: Slight		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Shingle	Hip	Wood - Shake
Foundation:	Form/Type:		
Stone	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1904 Built Date	
1969 Remodel	
1971 Remodel	
2007 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: Yes

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: This house retains much of its architectural integrity. The plan, cladding, and doors appear to be intact. The majority of windows appear to be original, but replacement screens and aluminum storm windows are throughout. Permitted alterations to the house include a new roof in 1969, a remodel that included alterations to interior outlets and lighting in 1971, and a new gas furnace in 2007. This large house marks an early period of residential expansion on College Hill. The building is a largely intact example of the Arts and Crafts architectural movement. Therefore, we recommend that it is eligible for listing on the National Register of Historic Places under Criterion C (Design, Construction, and Work of a Master).

Description of Physical Appearance: This is a one-and-one-half-story Arts and Crafts – Craftsman located at the southwest corner of Maple and Oak streets. Originally a single-family dwelling, the house is now divided into multiple rental apartments. The address prior to 1972 was 1407 Maple Street.

Historic Inventory Report

A plaque on the front door identifies this building as the former home of Osmer L. Waller, vice president of Washington State College. Originally from Ohio, Waller moved to Washington sometime around 1890. In 1893, he was appointed Professor of Mathematics and Civil Engineering at the newly established Washington Agricultural College in Pullman, despite having a limited knowledge of advanced mathematics or engineering. As a result of his limited technical expertise, many of Waller's subsequent positions at the college were administrative rather than instructional. These included Dean of Arts and Sciences and College Vice-President. During the term of Governor Marion Hay (1909–1913), Waller was appointed head of a commission to codify Washington state water laws. Later, he was named Secretary of the Columbia Basin Survey Commission and was one of the most vocal opponents to the construction of Grand Coulee Dam. Waller passed away in 1935 (<http://ntserver1.wsulibs.wsu.edu/masc/finders/cg222.htm>). Washington State College campus directories indicate Waller resided here from at least 1910 to 1932 (and probably until his death in 1935). The 1936 directory lists Louis Maddox (Extension Animal Husbandman) as resident.

The house has a rectangular ground plan that covers 2,742 square feet. The roof is covered in wood shakes and the primary roof is a medium hip with eaves projected and rafters exposed, with a low hip roof over the porch. It has a gutter system. The building sits on a random rubble basalt foundation and is clad in wood shingles. There is a two-stack, center left chimney and the stacks are linked at the base. The front-facing elevation has a balcony above the porch roof covered by a shed roof supported by plain posts. The southeast elevation, which faces Maple Street, features an open porch right of center that has a hanging light fixture and flat wood planking ceiling. An enclosed porch is left of the door and features ventilation breaks on the southwest, southeast, and northeast elevations. A brick walkway leads to the poured concrete porch topped with red tile and the door is a plain-surround single-leaf two-panel with four stained glass lights. The enclosed porch has a second entrance flanked by two single-sash twelve pane windows, and the southeast elevation has three side-by-side single-sash twelve pane windows with bull nose in the upper right and left corners. These windows have a wooden slip sill but no trim. The east section of the elevation has a bay with three windows; the center window is a two-sash with the top sash having six panes. This center window is flanked by two double twelve-pane windows. The balcony has two double-hung windows with eight lights equally spaced and the door is same as the front door on the first story but left of center.

The northeast foundation has two large single-sash windows on the corners of the elevation, and a centered single-sash window with eight panes. On the ground level there is a large single-sash window to the southeast, to the northwest there is one single-sash double-hung window with eight panes, and two single-sash double-hung windows with fifteen panes. There is also a small projection approximately three by twelve feet from the primary façade supported by three pairs of scrolled brackets. On the half-story, there is a break in the wood shingles above the first story and the primary roof is broken by two windows covered by shed roofs. At this elevation there is a double-hung window with a top sash of eight panes. The brick walkway continues on this side of the house, surrounding a brick patio which has four poured concrete semi-circular stairs, and the walkway continues to the outbuilding in the back yard (see Building 4).

The northwest elevation has a poured concrete patio with decorative iron fencing, and dressed basalt stairs and walkway into the backyard (). At the north end ground level there is a door to the patio, and to the west of the house there is a two-sash window with mullion, with one sash being double the size of the other. Further to the west is a double-hung casement with the top sash having six panes and the bottom made of stained glass. The interior and screen door appear to be original and all windows on this elevation have plain trim and slip sill. At the west end there is a projection, in the northeast elevation of the projection there is a single-leaf door with four panel, an added pet door, and transom flush and blinds. The addition has two three-sash windows with wood mullion, and the top corners of outside sashes are bullnose, and the addition has a low-hip roof with new gutters.

The southwest elevation has a brick walkway extending down the elevation to the sidewalk. The foundation level has a small opening at the west end, two large windows, the left of which is broken with a covering storm window while the right is a single-sash eight pane and one small square single-sash four pane window. Finally, at the center there is an eight pane single-sash flanked by two two-pane single-sash windows. There is a projected bay at the southeast end of the southwest elevation. The porch on this elevation has three three-sash windows with mullions, and each sash has twelve panes; the upper left pane of the left sash and the upper right pane of the right sash are bullnose. The ground level at the bay has a double-hung window with an eight-pane top sash, flanked by two double-hung windows with six panes in the top sash. To the left of the bay there are two double-hung windows with the top sash having eight panes. The back addition has one six-sash window with mullions. At the half-story there are two dormers with a shed roof. The dormer to the left has two double-hung four-pane windows and the right has a double-hung with an eight-pane top sash.

**Major
Bibliographic
References:**

- (1) Guide to the Osmer Lysander Waller Papers 1897-1935, Manuscripts, Archives, and Special Collections, Washington State University Libraries(<http://ntserver1.wsulibs.wsu.edu/masc/finders/cg222.htm>).
- (2) Washington State College campus directories, 1910 to 1932. Manuscripts, Archives, and Special Collections, Washington State University Libraries.
- (3) City of Pullman permitting records.

Photos



View to 300 TN
SE elevation
2013



View to 280 TN
SE-NE elevations
2013



View to 280 TN
NE elevation
2013



View to 212 TN
NE elevation
2013

Historic Inventory Report



View to 178 TN
NE elevation
2013



View to 130 TN
NW elevation
2013



View to 94 TN
SW elevation
2013



View to 355 TN
SW elevation
2013



View to 350 TN



Historic Inventory Report

SW-SE elevations
2013



Historic Inventory Report

Location

Field Site No. 4

DAHP No.

Historic Name:

Common Name:

Property Address: 635 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350006080001

Plat/Block/Lot Reaney's 2nd Addition-Schmelzer Short Plat/Block 6/Lot 6

Acreage 0.06

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473750

Northing: 528282

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory

Date Recorded: 04/23/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Schmelzer, Allen/Jerriann

Owner Address: 6310 S. Dorset Rd

City: Spokane

State: WA

Zip: 99224

Classification: Building

Resource Status:

Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:

Historic Inventory Report

**Description of
Physical
Appearance:**

This is a two-story Arts and Crafts – Craftsman style agricultural outbuilding located at the southwest corner of Maple and Oak streets. It is located behind the main residence at 635 Maple (see Building 3) and appears to have been built around the same time (1904). It is shown on the 1908 Sanborn map as a stable and on the 1929 map as an auto garage, but it is now used for storage.

The building is set against the hill slope so that the second story is at ground level on the higher, southeast side. It has a rectangular ground plan with an addition on the northwest elevation. The foundation is poured concrete. The walls are clad with replacement horizontal wood planking on the southwest and southeast elevations. The northeast and northwest elevations are clad with shiplap that appears to be original. The roof is asphalt composition shingles and a side gable with projecting eaves and exposed rafters. The original wood shake roof was removed. Aluminum gutters have been added and there is buckling on the first and second stories.

The southeast elevation has a poured concrete driveway leading to the walk-in door that is left of center. The door is a single panel with a single light and plain trim. To the south is a horizontal sliding plain trim window. This elevation has been extensively modified, changing the building from a garage to its present configuration. The northeast elevation has a single-pane rectangular window. The dressed basalt walkway from the main house (Building 3) connects to the northwest elevation and joins with a poured concrete patio below a solid wooden door. This door has a hand-forged latch and plain trim and slip sill. The ground level of the northwest elevation has a single-sash window and the second story has two single-sash eight-pane windows with mullions. The southwest elevation at the ground level has a two-sash window with vertical mullion and plain trim and slip sill. At the second story is a single-sash four pane window, and a boarded opening next to the addition.

**Major
Bibliographic
References:**

(1) City of Pullman permitting records.

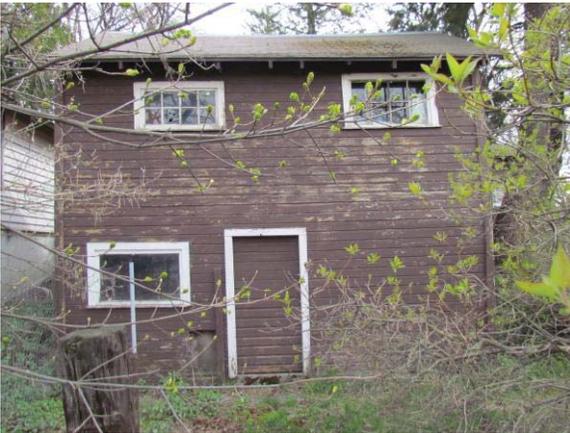
Photos



View to 308 TN
SE elevation
2013



View to 160 TN
NE elevation
2013



View to 128 TN
NW elevation
2013



View to 70 TN
SW elevation
2013