

CULTURAL RESOURCES SURVEY COVER SHEET

Author: Daryl E. Ferguson Robert R. Franklin, Dulce Kersting, Robert R. McCoy, Matthew J. Root, and Allison Munch-Rotolo

Title of Report: Historic Building Inventory of the Maple Street-Maiden Lane Neighborhood, Pullman, Washington

Date: August 19 2013

County (ies): Whitman Section: 5 Township: 14 N. Range: 45 E.
Quad: Pullman Acres: 17.4

CD submitted? Yes No

Does this replace a draft? Yes No

Archaeological Sites Found or Amended? Yes No

TCP(s) found? Yes No

DAHP Archaeological Site #:

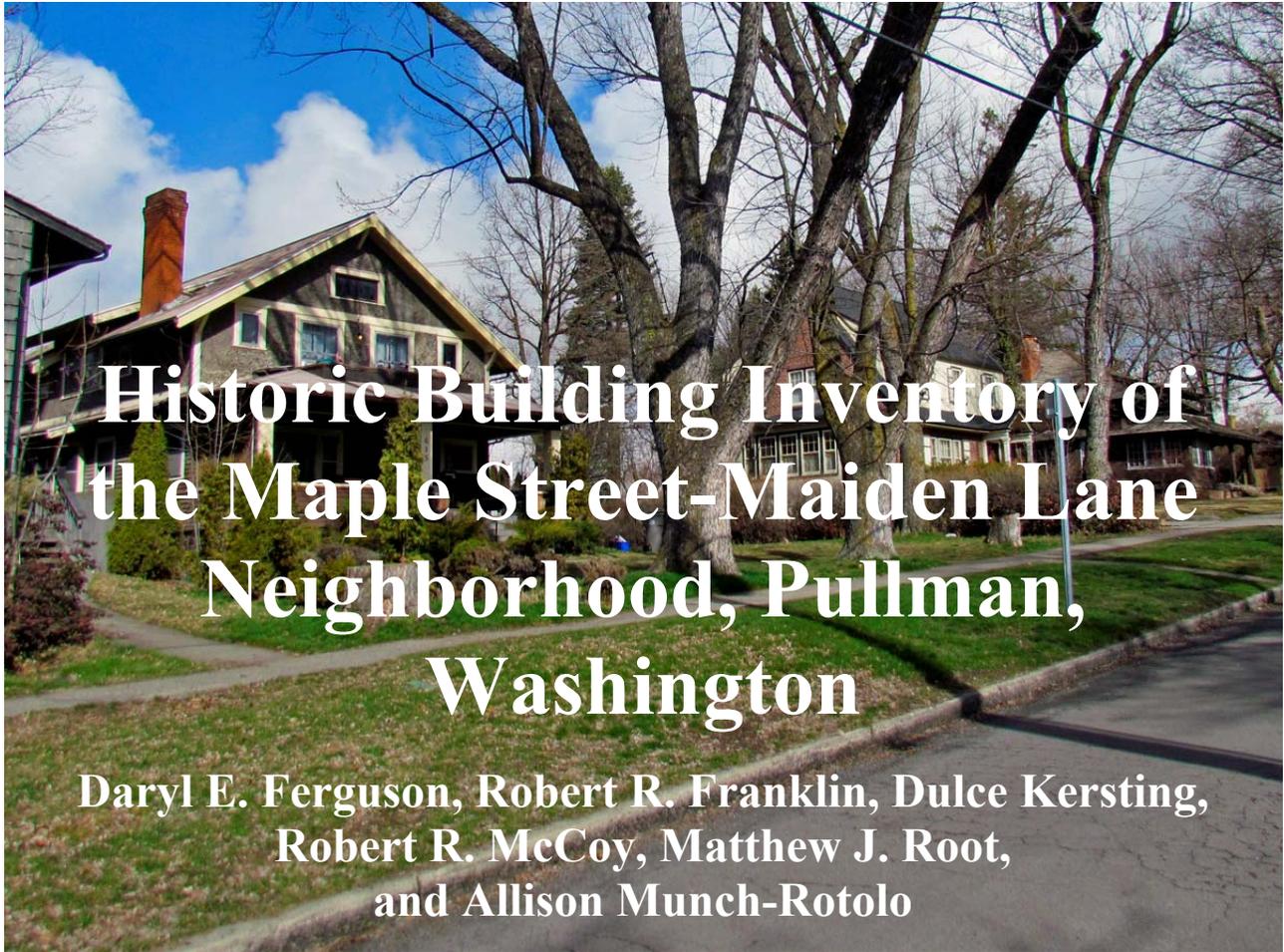
36 historic properties
submitted in WISAARD

REPORT CHECK LIST

Report should contain the following items:

- Clear objectives and methods
- A summary of the results of the survey
- A report of where the survey records and data are stored
- A research design that:
 - Details survey objectives
 - Details specific methods
 - Details expected results
 - Details area surveyed including map(s) and legal locational information
 - Details how results will be feedback in the planning process

Please submit reports unbound. Please be sure that any electronic version of a report submitted to DAHP has all of its figures, graphics, appendices, attachments, correspondence, cover sheet, etc., compiled into one single PDF file. Please check that all digital files display correctly when opened. Thank you!



**Rain Shadow Research Inc.
Project Report 261**

RAIN SHADOW RESEARCH INC.



CONSULTANTS IN PREHISTORY AND PALEOENVIRONMENTS

This Report Contains Privileged Information: Do Not Release

Historic Building Inventory of the Maple Street-Maiden Lane Neighborhood, Pullman, Washington

NW¼ of Section 5, T. 14 N., R. 45 E. (USGS Pullman Quadrangle, 1:24,000, 1964/1975).

Daryl E. Ferguson, *M.A., RPA*
Senior Research Archaeologist

Robert R. Franklin, *B.A.*
Architectural Historian

Dulce Kersting, *M.A.*
Architectural Historian

Robert R. McCoy, *Ph.D.*
Principal Investigator

Matthew J. Root, *Ph.D., RPA*
Principal Investigator
and
Allison Munch-Rotolo, *Ph.D.*
Research Associate

Rain Shadow Research Inc. Project Report 261

119 North Grand Avenue
Pullman, Washington 99163-2605
August 19, 2013

Submitted to: **City of Pullman**
Public Works Department
325 SE Paradise Street
Pullman, WA 99163

On the cover: the 600 block of Maple Street

Key Information

Agency Name: Washington State Department of Archaeology and Historic Preservation

County: Whitman, Washington

Legal Authority: Certified Local Government program of the National Historic Preservation Act of 1966, as amended 1980

Legal Description: NW¼ of Section 5, T. 14 N., R. 45 E. (USGS Pullman Quadrangle, 1:24,000, 1964/1975).

Tax Parcel: see Table 5

Acres Surveyed: 17.4 acres Intensive building survey

Certification of Results

I certify that this investigation was conducted and documented according to the Secretary of Interior's Standards and guidelines and that the report is complete and accurate to the best of my knowledge.



Matthew J. Root, Ph.D., RPA

August 19, 2013

Contents

LIST OF FIGURES.....	VII
LIST OF TABLES.....	X
MANAGEMENT SUMMARY AND SCOPE OF WORK	1
HISTORIC CONTEXT	3
THE CITY OF PULLMAN	4
THE MAPLE STREET-MAIDEN LANE SURVEY AREA.....	6
RECORDS REVIEW	10
DAH P RECORDS	10
GENERAL LAND OFFICE (GLO).....	11
SANBORN FIRE INSURANCE MAPS	11
FIELD PROCEDURES	23
SURVEY RESULTS	26
ARCHITECTURAL DESCRIPTIONS.....	26
CAMPUS STREET BUILDING DESCRIPTIONS	26
445 CAMPUS STREET (BUILDING 14).....	26
450 CAMPUS STREET/705 OPAL STREET (BUILDING 15).....	30
455 CAMPUS STREET (BUILDING 13).....	33
OAK STREET BUILDING DESCRIPTIONS	36
405 OAK STREET, ROTH/ELMHURST APARTMENTS (BUILDING 6)	36
415 OAK STREET (BUILDING 7).....	40
450 OAK STREET, MAIN HOUSE (BUILDING 9).....	43
450 OAK STREET, DETACHED APARTMENT AND GARAGE (BUILDING 10).....	46
ASH STREET BUILDING DESCRIPTIONS	48
400 ASH STREET, SACRED HEART CATHOLIC CHURCH (BUILDING 17)	48
440 ASH STREET, SACRED HEART CATHOLIC CHURCH PARISH OFFICE (BUILDING 16).....	56
SPAULDING STREET BUILDING DESCRIPTION	59
410 SPAULDING STREET (BUILDING 26) (DAH P No. 38-00380).....	59
OPAL STREET BUILDING DESCRIPTIONS	61
625 OPAL STREET (BUILDING 28)	62
635 OPAL STREET (BUILDING 8)	65
675 OPAL STREET (BUILDING 12)	70
MAIDEN LANE BUILDING DESCRIPTIONS	73
400 MAIDEN LANE, PULLMAN HARVEST HOUSE (BUILDING 32)	73
410 MAIDEN LANE (BUILDING 33).....	77
430 MAIDEN LANE (BUILDING 34).....	80
440 MAIDEN LANE (BUILDING 35).....	83
460 MAIDEN LANE (BUILDING 36).....	86
470 MAIDEN LANE (BUILDING 37).....	89
530 MAIDEN LANE (BUILDING 23).....	92
535 MAIDEN LANE, COLLEGE HILL APARTMENTS (BUILDING 20).....	95
540 MAIDEN LANE (BUILDING 22).....	98

550 MAIDEN LANE (BUILDING 21)..... 100

MAPLE STREET BUILDING DESCRIPTIONS..... 103

MAPLE STREET BUILDING DESCRIPTIONS..... 103

300 MAPLE STREET, WASHINGTON COURT APARTMENTS (BUILDING 29) (DAHP No. 38-00409)..... 103

330 MAPLE STREET (BUILDING 30)..... 110

340 MAPLE STREET, PULLMAN CHRISTIAN CHURCH/PALOUSE RIVER COUNSELING CENTER (BUILDING 31) 113

435 MAPLE STREET (BUILDING 27)..... 118

500 MAPLE STREET (BUILDING 25)..... 121

510 MAPLE STREET (BUILDING 24)..... 124

520 MAPLE STREET (BUILDING 19)..... 127

530 MAPLE STREET (BUILDING 18)..... 129

615 MAPLE STREET (BUILDING 1)..... 132

620 MAPLE STREET (BUILDING 5)..... 134

625 MAPLE STREET (BUILDING 2) (DAHP No. 38-00419)..... 135

635 MAPLE STREET, MAIN HOUSE (BUILDING 3)..... 139

635 MAPLE STREET, OUTBUILDING (BUILDING 4) 142

CONCLUSIONS AND MANAGEMENT RECOMMENDATIONS..... 144

REFERENCES CITED..... 147

List of Figures

FIGURE 1. LOCATION OF THE MAPLE STREET INVENTORY PROJECT AREA AND ITS PROXIMITY TO THE NATIONAL REGISTER COLLEGE HILL HISTORIC DISTRICT (45DT210) (USGS PULLMAN QUADRANGLE, 1:24,000, 1964/1975, CONTOUR INTERVAL 20 FEET).....	2
FIGURE 2. LOOKING NORTHWARD ALONG NORTH GRAND AVENUE DURING THE 1910 FLOOD, WEST OF THE MAPLE STREET-MAIDEN LANE SURVEY AREA.....	6
FIGURE 3. PORTIONS OF GENERAL LAND OFFICE CADASTRAL SURVEY PLATS FOR T. 14 N., R. 45 E. (SURVEYED IN SEPTEMBER-OCTOBER 1875) AND T. 15 N., R. 45 E. (SURVEYED IN AUGUST-SEPTEMBER 1874) WITH THE MAPLE STREET INVENTORY SURVEY AREA BOUNDARY SUPERIMPOSED. NOTE THAT THE SOUTH FORK PALOUSE RIVER IS INCORRECTLY SHOWN CROSSING THROUGH THE PROJECT AREA. THE RIVER ACTUALLY FLOWS AT THE BASE OF THE HILL SOUTH OF THE PROJECT AREA.....	12
FIGURE 4. THE JANUARY 1893 SANBORN FIRE INSURANCE MAP, SHEET 3, INCLUDING A PORTION OF THE MAPLE STREET-MAIDEN LANE HISTORIC BUILDING INVENTORY AREA.....	13
FIGURE 5. THE MARCH 1896 SANBORN FIRE INSURANCE MAP, SHEET 3, INCLUDING A PORTION OF THE MAPLE STREET-MAIDEN LANE HISTORIC BUILDING INVENTORY AREA.....	15
FIGURE 6. THE AUGUST 1908 SANBORN FIRE INSURANCE MAP, SHEET 5, INCLUDING A PORTION OF THE MAPLE STREET-MAIDEN LANE HISTORIC BUILDING INVENTORY AREA.....	16
FIGURE 7. THE AUGUST 1908 SANBORN FIRE INSURANCE MAP, SHEET 6, INCLUDING A PORTION OF THE MAPLE STREET-MAIDEN LANE HISTORIC BUILDING INVENTORY AREA (NOTE THAT NORTH IS TO THE UPPER RIGHT ON THIS MAP, BUT TO THE UPPER LEFT IN THE INSET). INVENTORIED BUILDINGS THAT ARE STILL STANDING ARE SHADED.....	17
FIGURE 8. THE AUGUST 1908 SANBORN FIRE INSURANCE MAP, SHEET 3, INCLUDING A PORTION OF THE MAPLE STREET-MAIDEN LANE HISTORIC BUILDING INVENTORY AREA (NOTE INSET MAP OF THE WESTERN SIDE OF STAR ROUTE). INVENTORIED BUILDINGS THAT ARE STILL STANDING ARE SHADED.....	18
FIGURE 9. THE AUGUST 1929 SANBORN FIRE INSURANCE MAP, SHEET 6, INCLUDING A PORTION OF THE MAPLE STREET-MAIDEN LANE HISTORIC BUILDING INVENTORY AREA. INVENTORIED BUILDINGS BUILT FROM 1909–1929 THAT ARE STILL STANDING ARE SHADED.....	19
FIGURE 10. THE AUGUST 1929 SANBORN FIRE INSURANCE MAP, SHEET 6, INCLUDING A PORTION OF THE MAPLE STREET-MAIDEN LANE HISTORIC BUILDING INVENTORY AREA. INVENTORIED BUILDINGS BUILT FROM 1909–1929 THAT ARE STILL STANDING ARE SHADED.....	20
FIGURE 11. THE 1949 (UPDATED FROM 1929) SANBORN FIRE INSURANCE MAP, SHEET 6, INCLUDING A PORTION OF THE MAPLE STREET-MAIDEN LANE HISTORIC BUILDING INVENTORY AREA. INVENTORIED BUILDINGS BUILT FROM 1930–1949 THAT ARE STILL STANDING ARE SHADED.....	21
FIGURE 12. THE 1949 (UPDATED FROM 1929) SANBORN FIRE INSURANCE MAP, SHEET 6, INCLUDING A PORTION OF THE MAPLE STREET-MAIDEN LANE HISTORIC BUILDING INVENTORY AREA. INVENTORIED BUILDINGS BUILT FROM 1930–1949 THAT ARE STILL STANDING ARE SHADED.....	22
FIGURE 13. MAP SHOWING LOCATIONS OF HISTORIC BUILDINGS RECORDED AS PART OF THE MAPLE STREET INVENTORY PROJECT (USGS PULLMAN QUADRANGLE, 1:24,000, 1964/1975). NUMERALS INDICATE THE BUILDING NUMBERS ASSIGNED DURING FIELDWORK FOR EASY REFERENCING OF INVENTORIED BUILDINGS.....	24
FIGURE 14. GEORECTIFIED AERIAL PHOTOGRAPH SHOWING LOCATIONS OF HISTORIC BUILDINGS RECORDED AS PART OF THE MAPLE STREET INVENTORY PROJECT (GOOGLE EARTH IMAGE, 6 AUGUST 2011). NUMERALS INDICATE THE BUILDING NUMBERS ASSIGNED DURING FIELDWORK FOR EASY REFERENCING OF INVENTORIED BUILDINGS.....	25
FIGURE 15. STREET VIEWS OF THE 400 BLOCK OF CAMPUS STREET: (A) THE NORTHEAST SIDE OF THE STREET, VIEW AZIMUTH 300°; (B) THE SOUTHWEST SIDE OF THE STREET, VIEW TO AZIMUTH 350°.....	28
FIGURE 16. 445 CAMPUS STREET, THREE-QUARTER VIEW, VIEW TO AZIMUTH 260°.....	30
FIGURE 17. 450 CAMPUS STREET: (A) SOUTHEAST ELEVATION, VIEW TO AZIMUTH 300°; (B) THREE-QUARTER VIEW OF THE NORTHWEST AND SOUTHWEST ELEVATIONS, VIEW TO AZIMUTH 80°.....	32
FIGURE 18. 455 CAMPUS STREET: (A) NORTHEAST ELEVATION, VIEW TO AZIMUTH 210°; (B) SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 300°.....	35
FIGURE 19. THE ELMHURST APARTMENTS, 405 OAK STREET: (A) THREE-QUARTER VIEW OF THE NORTHEAST AND NORTHWEST ELEVATIONS, VIEW TO AZIMUTH 160°; (B) DETAIL OF THE ENTRYWAY, VIEW TO AZIMUTH 215°.....	39
FIGURE 20. 415 OAK STREET: (A) THE NORTHEAST, PRIMARY ELEVATION, VIEW TO AZIMUTH 210°; (B) THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 5°.....	42
FIGURE 21. 450 OAK STREET, MAIN HOUSE: (A) THE SOUTHWEST, PRIMARY ELEVATION, VIEW TO AZIMUTH 35°; (B) THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 350°.....	44

FIGURE 22. THE NORTHEAST ELEVATION OF THE MAIN HOUSE AT 450 OAK STREET.....	45
FIGURE 23. 450 OAK STREET, APARTMENT AND GARAGE: (A) THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 345°; (B) THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS OF THE GARAGE, VIEW TO AZIMUTH 5°.....	47
FIGURE 24. OVERVIEW OF THE NORTHEAST SIDE OF ASH STREET, VIEW TO AZIMUTH 50°.....	48
FIGURE 25. PHOTOGRAPH TAKEN IN AUGUST 1936 OF THE NORTHWEST AND SOUTHWEST (MAIN ENTRANCE) ELEVATIONS OF THE RECENTLY COMPLETED SACRED HEART CATHOLIC CHURCH.	49
FIGURE 26. PHOTOGRAPH TAKEN IN AUGUST 1936 OF THE SOUTHWEST (MAIN ENTRANCE) ELEVATION AND SPIRE OF THE RECENTLY COMPLETED SACRED HEART CATHOLIC CHURCH.	50
FIGURE 27. THE PRESENT DAY SOUTHWEST AND NORTHWEST ELEVATIONS OF THE SACRED HEART CATHOLIC CHURCH VIEW TO AZIMUTH 85°.....	51
FIGURE 28. THE MAIN ENTRANCE (SOUTHWEST ELEVATION) OF THE SACRED HEART CATHOLIC CHURCH, VIEW TO AZIMUTH 30°.....	52
FIGURE 29. SOUTHEAST ELEVATION OF THE SACRED HEART CATHOLIC CHURCH, VIEW TO AZIMUTH 300°.....	53
FIGURE 30. SACRED HEART CATHOLIC CHURCH: (A) NORTHEAST ELEVATION, VIEW TO AZIMUTH 160°; (B) NORTHWEST ELEVATION, VIEW TO AZIMUTH 170°.....	54
FIGURE 31. SACRED HEART CATHOLIC CHURCH: (A) SOUTHWEST ELEVATION OF THE ANNEX, VIEW TO AZIMUTH 30°; (B) NORTHWEST AND SOUTHWEST ELEVATIONS OF THE SOCIAL HALL MODERN ADDITION, VIEW TO AZIMUTH 75°.....	55
FIGURE 32. THE SACRED HEART CATHOLIC CHURCH PARISH OFFICE,440 ASH STREET, SOUTHWEST ELEVATION, VIEW TO AZIMUTH 20°.....	57
FIGURE 33. THE SACRED HEART CATHOLIC CHURCH PARISH OFFICE,440 ASH STREET: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 120°; (B) NORTHEAST ELEVATION, VIEW TO AZIMUTH 210°.....	58
FIGURE 34. 410 SPAULDING STREET: (A) PRIMARY, SOUTHWEST ELEVATION, VIEW TO AZIMUTH 30°; (B) THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 5°.....	60
FIGURE 35. 410 SPAULDING STREET, NORTHWEST ELEVATION, VIEW TO AZIMUTH 150°.....	61
FIGURE 36. 625 OPAL STREET: (A) SOUTHEAST ELEVATION, VIEW TO AZIMUTH 300°; (B) THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 345°.....	63
FIGURE 37. THE SOUTHWEST ELEVATION OF THE HOUSE AT 625 OPAL, VIEW DUE NORTH.....	64
FIGURE 38. A PAGE FROM THE 1920 <i>CHINOOK</i> YEAR BOOK LISTING THE WASHINGTON GAMMA CHAPTER OF THE PHI DELTA THETA FRATERNITY WITH A PHOTO OF THE HOUSE AT 625 OPAL STREET (WASHINGTON STATE COLLEGE 1919).....	66
FIGURE 39. A PAGE FROM THE 1924 <i>CHINOOK</i> YEAR BOOK LISTING THE ALPHA GAMMA SORORITY WITH A PHOTO OF THE HOUSE AT 625 OPAL STREET (WASHINGTON STATE COLLEGE 1923).....	67
FIGURE 40. 635 OPAL STREET: (A) SOUTHEAST ELEVATION, VIEW TO AZIMUTH 305°; (B) THREE-QUARTER VIEW OF THE SOUTHEAST AND NORTHEAST ELEVATIONS, VIEW TO AZIMUTH 265°.....	68
FIGURE 41. THE NORTHEAST ELEVATION OF THE HOUSE AT 635 OPAL STREET, VIEW TO AZIMUTH 240°.....	69
FIGURE 42. 675 OPAL STREET: (A) NORTHEAST ELEVATION, VIEW TO AZIMUTH 260°; (B) THREE-QUARTER VIEW OF THE NORTHEAST AND NORTHWEST ELEVATIONS, VIEW TO AZIMUTH 155°.....	72
FIGURE 43. THE INVENTORY AREA ALONG OPAL STREET AND MAIDEN LANE: (A) THE GREYSTONE APARTMENTS AT OPAL STREET AND MAIDEN LANE (EXCLUDED PROPERTY), VIEW TO AZIMUTH 60°; (B) OVERVIEW DOWN THE EASTERN SIDE OF MAIDEN LANE FROM OPAL STREET, VIEW TO AZIMUTH 205°.....	74
FIGURE 44. THE MODERN RIDGEVIEW APARTMENTS AT 422 MAIDEN LANE, VIEW TO AZIMUTH 160°.....	75
FIGURE 45. 400 MAIDEN LANE: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 150°; (B) THREE-QUARTER VIEW OF THE SOUTHEAST AND NORTHEAST ELEVATIONS, VIEW TO AZIMUTH 300°.....	76
FIGURE 46. 410 MAIDEN LANE: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 120°; (B) SOUTHEAST ELEVATION, VIEW TO AZIMUTH 330°.....	79
FIGURE 47. THREE-QUARTER VIEW OF THE NORTHWEST AND SOUTHWEST ELEVATIONS AT 410 MAIDEN LANE, VIEW TO AZIMUTH 75°.....	80
FIGURE 48. 430 MAIDEN LANE: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 100°; (B) SOUTHWEST ELEVATION, VIEW TO AZIMUTH 60°.....	82
FIGURE 49. 440 MAIDEN LANE: (A) THREE-QUARTER VIEW OF THE NORTHEAST AND NORTHWEST ELEVATIONS, VIEW TO AZIMUTH 190°; (B) THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 335°.....	85
FIGURE 50. THREE-QUARTER VIEW OF THE NORTHEAST AND NORTHWEST ELEVATIONS OF THE LARGE, MULTI-FAMILY HOUSE AT 460 MAIDEN LANE, VIEW TO AZIMUTH 180°.....	87
FIGURE 51. SOUTHWEST ELEVATION OF THE ORIGINAL BUILDING AT 460 MAIDEN LANE, VIEW TO AZIMUTH 10°.....	88

FIGURE 52. SOUTHWEST ELEVATION OF THE ADDITION AT 460 MAIDEN LANE, VIEW TO AZIMUTH 60°	89
FIGURE 53. 470 MAIDEN LANE: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 160°; (B) THREE-QUARTER VIEW OF THE NORTHWEST AND SOUTHWEST ELEVATIONS, VIEW TO AZIMUTH 100°	91
FIGURE 54. THE NORTHWEST ELEVATION OF THE BUILDING AT 530 MAIDEN LANE, VIEW TO AZIMUTH 95° (THE FRONT OF THE BUILDING IS LARGELY OBSCURED BY VEGETATION FROM A MORE DIRECT ANGLE).....	93
FIGURE 55. THE NORTHWEST AND SOUTHWEST ELEVATIONS OF THE BUILDING AT 530 MAIDEN LANE, VIEW TO AZIMUTH 70°.....	94
FIGURE 56. THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS OF THE BUILDING AT 530 MAIDEN LANE, VIEW TO AZIMUTH 360°	95
FIGURE 57. COLLEGE HILL APARTMENTS: THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST (FACING MAIDEN LANE) ELEVATIONS OF THE SOUTHWEST WING (LEFT) AND THE NORTHEAST WING (RIGHT) WITH A COURTYARD BETWEEN THE WINGS, VIEW TO AZIMUTH 335°.....	96
FIGURE 58. COLLEGE HILL APARTMENTS: THREE-QUARTER VIEW OF THE NORTHEAST (FACING ASH STREET) AND NORTHWEST ELEVATIONS OF THE NORTHEAST WING, VIEW TO AZIMUTH 155°.....	97
FIGURE 59. 540 MAIDEN LANE: THREE-QUARTER VIEW OF THE NORTHEAST AND NORTHWEST ELEVATIONS, VIEW TO AZIMUTH 175°.....	99
FIGURE 60. 540 MAIDEN LANE: THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 10°	100
FIGURE 61. 550 MAIDEN LANE: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 90°; (B) NORTHEAST ELEVATION, VIEW TO AZIMUTH 185°	102
FIGURE 62. MODERN APARTMENT COMPLEX AT 605 MAPLE STREET.....	103
FIGURE 63. OVERVIEWS OF THE MAPLE STREET SURVEY AREA: (A) THE FORMER PARSONAGE AND GREYSTONE CHURCH ON THE 400 BLOCK, VIEW TO AZIMUTH 170°; (B) THE WESTERN SIDE OF THE 400 BLOCK OF MAPLE STREET, VIEW TO AZIMUTH 255°	104
FIGURE 64. OVERVIEWS OF THE MAPLE STREET SURVEY AREA: (A) EASTERN SIDE OF THE 600 BLOCK AND THE FIRST HOSPITAL IN PULLMAN (EXCLUDED), VIEW TO AZIMUTH 80°; (B) INTERSECTION OF MAPLE AND OAK STREETS, VIEW TO AZIMUTH 60°	105
FIGURE 65. OVERVIEWS OF THE MAPLE STREET SURVEY AREA: (A) WESTERN SIDE OF THE SOUTHERN PART OF THE 600 BLOCK, VIEW TO AZIMUTH 350°; (B) WESTERN SIDE OF THE NORTHERN PART OF THE 600 BLOCK, VIEW TO AZIMUTH 350°	106
FIGURE 66. THE REMAINING BRICK-PAVED PORTION ON THE 300 BLOCK OF MAPLE STREET, VIEW TO AZIMUTH 210°...	107
FIGURE 67. THE WASHINGTON COURT APARTMENTS: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 125°; (B) THREE-QUARTER VIEW OF THE SOUTHEAST AND NORTHEAST ELEVATIONS, VIEW TO AZIMUTH 260°.....	109
FIGURE 68. 330 MAPLE STREET: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 130°; (B) THREE-QUARTER VIEW OF THE NORTHEAST AND NORTHWEST ELEVATIONS, VIEW TO AZIMUTH 165°.....	112
FIGURE 69. PHOTOGRAPHS OF THE ORIGINAL PULLMAN CHRISTIAN CHURCH (WHITMAN COUNTY HISTORICAL SOCIETY).	115
FIGURE 70. 340 MAPLE STREET: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 125°; (B) NORTHEAST ELEVATION, VIEW TO AZIMUTH 180°	116
FIGURE 71. THE SOUTHEAST ELEVATION OF THE PULLMAN CHRISTIAN CHURCH/PALOUSE RIVER COUNSELING CENTER AT 340 MAPLE STREET, VIEW TO AZIMUTH 300°.....	118
FIGURE 72. 435 MAPLE STREET: (A) SOUTHEAST ELEVATION, VIEW TO AZIMUTH 300°; (B) THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 330°	120
FIGURE 73. SOUTHWEST ELEVATION OF THE HOUSE AT 435 MAPLE STREET, VIEW TO AZIMUTH 30°;	121
FIGURE 74. 500 MAPLE STREET: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 120°; (B) SOUTHWEST ELEVATION, VIEW TO AZIMUTH 30°	123
FIGURE 75. 500 MAPLE STREET: THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 345°	124
FIGURE 76. 510 MAPLE STREET: THE NORTHWEST, PRIMARY ELEVATION, VIEW TO AZIMUTH 1200°.....	125
FIGURE 77. 510 MAPLE STREET: (A) THREE-QUARTER VIEW OF THE NORTHWEST AND SOUTHWEST ELEVATIONS, VIEW TO AZIMUTH 85°; (B) NORTHEAST ELEVATION, VIEW TO AZIMUTH 160°.....	126
FIGURE 78. 520 MAPLE STREET: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 120°; (B) THREE-QUARTER VIEW OF THE NORTHEAST AND NORTHWEST ELEVATIONS, VIEW TO AZIMUTH 200°.....	128
FIGURE 79. 530 MAPLE STREET: (A) NORTHWEST ELEVATION, VIEW TO AZIMUTH 120°; (B) NORTHEAST ELEVATION, VIEW TO AZIMUTH 210°	131

FIGURE 80. 615 MAPLE STREET: (A) THREE-QUARTER VIEW OF THE SOUTHEAST AND NORTHEAST ELEVATIONS, VIEW TO AZIMUTH 285°; (B) NORTHWEST ELEVATION, VIEW TO AZIMUTH 120° 133

FIGURE 81. 620 MAPLE STREET: (A) THREE-QUARTER VIEW OF THE NORTHWEST AND SOUTHWEST ELEVATIONS, VIEW TO AZIMUTH 80°; (B) SOUTHEAST ELEVATION, VIEW TO AZIMUTH 308° 136

FIGURE 82. 625 MAPLE STREET: (A) PRIMARY, SOUTHEAST ELEVATION, VIEW TO AZIMUTH 300°; (B) THREE-QUARTER VIEW OF THE SOUTHEAST AND NORTHEAST ELEVATIONS, VIEW TO AZIMUTH 270° 138

FIGURE 83. 635 MAPLE STREET: (A) PRIMARY, SOUTHEAST ELEVATION, VIEW TO AZIMUTH 300°; (B) THREE-QUARTER VIEW OF THE SOUTHWEST AND SOUTHEAST ELEVATIONS, VIEW TO AZIMUTH 350° 140

FIGURE 84. 635 MAPLE STREET: THE NORTHWEST ELEVATION AND BACK YARD, VIEW TO AZIMUTH 115° 141

FIGURE 85. 635 MAPLE STREET OUTBUILDING: (A) SOUTHEAST ELEVATION, VIEW TO AZIMUTH 308°; (B) SOUTHWEST ELEVATION, VIEW TO AZIMUTH 70° 143

List of Tables

TABLE 1. MAPLE STREET-MAIDEN LANE INVENTORY BUILDINGS DATES OF CONSTRUCTION. 7

TABLE 2. ADDRESS CHANGES MADE IN 1972. 9

TABLE 3. INDIVIDUAL NATIONAL REGISTER PROPERTIES WITHIN 1 MILE OF THE SURVEY AREA. 10

TABLE 4. PROPERTIES EXCLUDED FROM INVENTORY AT THE REQUEST OF OWNER. 23

TABLE 5. HISTORIC BUILDINGS RECORDED WITHIN THE MAPLE STREET PROJECT SURVEY AREA. 27

TABLE 6. SUMMARY OF ARCHITECTURAL STYLES RECORDED WITHIN MAPLE STREET SURVEY AREA. 29

TABLE 7. SOME RESIDENTS OF THE ELMHURST APARTMENTS, 1926–1942. 38

TABLE 8. SUMMARY OF BUILDING MODIFICATIONS. 145

TABLE 9. SUMMARY OF ARCHITECTURAL STYLES AND NATIONAL REGISTER RECOMMENDATIONS. 146

Management Summary and Scope of Work

Rain Shadow Research conducted an intensive historic building survey in partial fulfillment of a grant from the Washington Department of Archaeology and Historic Preservation to the City of Pullman. The original inventory area defined by the City of Pullman included 61 properties in the areas of the 400 to 700 block of Maple Street and Maiden Lane and the cross streets. Property owners were offered the opportunity to opt out of the inventory; owners of 34 historic properties did so. This left only 27 historic properties in the inventory. Therefore, the City of Pullman expanded the inventory area to include the eastern side of the 300 block of Maple Street and the 400 block Maiden Lane. The expanded Maple Street-Maiden Lane inventory area contains 36 inventoried properties. These include 36 residential buildings (including multi-occupant apartments) and one former stable. There are seven detached garages that are associated with the original houses on those properties. We recorded these seven buildings with the associated houses as one property.

This survey was conducted under contract between the City of Pullman, Washington and Rain Shadow Research Inc. All project records are stored at Rain Shadow Research. This project was conducted under the Certified Local Government program of the National Historic Preservation Act of 1966, as amended 1980. Robert R. McCoy (Ph.D.), Dulce L. Kersting (M.A.), and Robert R. Franklin (B.A., M.A. candidate in history) completed the in-field architectural descriptions of the 36 historic properties from 22 April to 13 May 2013. Matthew J. Root (Ph.D.) and Allison Munch-Rotolo (Ph.D.) conducted all photography. Daryl E. Ferguson (M.A.) completed all other field data recording and coordinated all work.

Architectural styles represented by the inventoried properties include Arts and Crafts (Craftsman and Rustic), Beaux Arts (American Renaissance and Classical Revival), Colonial Revival, Late Gothic Revival, Modern (International and Minimal Traditional), Queen Anne-Cottage, Tudor (Composite and Elizabethan), and Vernacular. Craftsman is the most common architectural style (n = 14) recorded in the survey area, followed by Colonial Revival (n = 6). Together, these two styles account for over one-half of the inventoried buildings.

We recommend that three historic properties are eligible for listing on the National Register under Criterion C. These are a Tudor – Elizabethan house at 410 Spaulding Street, a Colonial Revival house at 625 Maple Street, and an Arts and Crafts – Craftsman at 635 Maple Street. These buildings retain all or most of their historic integrity. We recommend that one historic property, a 1908 Art and Crafts – Craftsman at 455 Campus, is eligible for the National Register under Criterion B, Important Persons. Several people of local and national prominence owned and lived at the house.

We recommend that 32 of 36 inventoried historic properties are not eligible for listing on the National Register. These buildings have extensive modifications to plans, windows, doors, cladding, or roofs and have lost much of their historic integrity. Many of the buildings in the survey area were not inventoried because owners opted out of the inventory. Therefore, based on present information we recommend that the inventory area is not eligible for listing on the National Register as a District. If more buildings are inventoried in the future, the area should be re-evaluated. Though we recommend that most buildings are not eligible for the National Register, many may meet the criteria for listing on the Pullman Historic Register. We encourage homeowners to submit nominations to the Pullman Historic Preservation Commission for evaluation for listing on the local historic register.

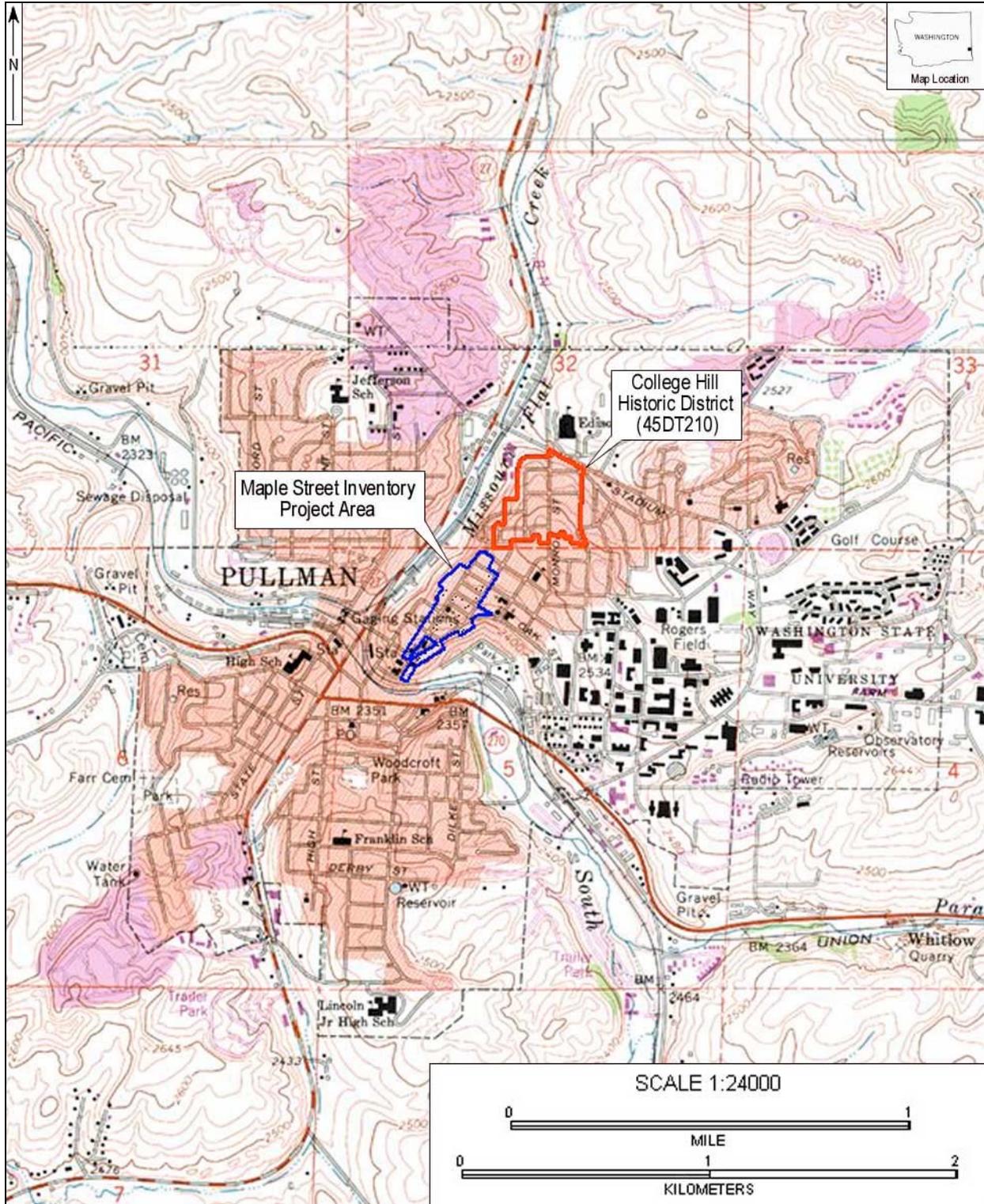


Figure 1. Location of the Maple Street Inventory Project Area and its proximity to the National Register College Hill Historic District (45DT210) (USGS Pullman Quadrangle, 1:24,000, 1964/1975, contour interval 20 feet).

Historic Context

By the second decade of the nineteenth century, British and American fur traders were active in northeast Washington and northern Idaho. Between 1807 and 1810, David Thompson of the North West Company (NWC), a British conglomerate based in Montreal, and persons under his charge constructed several trading posts in northern Idaho and adjacent areas of Washington, British Columbia, and Montana. The lack of fur-bearing animals and the absence of large, navigable rivers, however, meant that they showed little interest in the Palouse region of southeast Washington.

The most significant of the early NWC posts, Spokane House, served as the central supply base for the company's other inland trading posts. It was established in 1810 by Finan McDonald and Jacques (Jaco) Finlay near the confluence of the Spokane and Little Spokane rivers northwest of present Spokane. In 1812, the Pacific Fur Company (PFC), a subsidiary of John Jacob Astor's American Fur Company, established an opposition post within sight of Spokane House. From Fort Spokane the PFC dispatched several clerks to oppose the NWC among neighboring tribes to the east: Benjamin Pillet among the Kootenai, Russel Farnham among the Flathead, and Donald McLennon among the Coeur d'Alene (Ross 1969:229-230).

The PFC also established a small, unnamed wintering post on the Clearwater River about five miles above its confluence with the Snake River (Jones 1993:104), east of present-day Lewiston, Idaho. The post was established by Donald McKenzie in September 1812, but was active for only about three months before it was abandoned. In 1821, the British Hudson's Bay Company (HBC) merged with the North West Company and took possession of the latter company's western posts. Following the merger, the HBC continued to use Spokane House, however by 1826 it was decided this post was situated too distant from the main commercial thoroughfare along the Columbia River. As a result, Spokane House was abandoned and a new post (Fort Colville) was established. One of the primary routes used by the early fur traders between Spokane House and posts to the south was through far western Whitman County along an Indian trail known as the "Shawpatin and Pilloosees Road." This trail, traveled by David Thompson as early as August 1811 (Belyea 1994:166), extended up the Palouse River valley from its mouth at the Snake River to the mouth of Rock Creek, 59 km (37 miles) northwest of Pullman. From here the trail went north up Rock Creek, then overland to the mouth of the Spokane River.

By the late-1840s, the fur trade was in steady decline and a new era of intensive settlement, primarily by Euroamericans, had begun. As the number of settlers increased, so too did the animosity displayed by American Indians towards the encroaching immigrants. Tensions finally exploded into full-scale war (the Yakima War of 1855-1856) as a result of the influx of miners into eastern Washington following the discovery of gold along the Columbia River. The conflict ended with no resolution of the issues concerning the encroachment of miners into eastern Washington. Within two years another major conflict, the Coeur d'Alene War (sometimes referred to as the Spokane War) of 1858, had begun.

On 17 May of that year, Major (Brevet Lieutenant Colonel) Edward J. Steptoe departed Fort Walla Walla with three companies of the 1st Dragoons and a twenty-five-man detachment of the 9th Infantry with the intent of quelling Indian uprisings against the miners. The American troops, however, were decisively repulsed by a combined force of Spokanes, Palouses, and Coeur d'Alenes at the Battle of Steptoe Butte near present-day Rosalia, 56 km (35 mi.) northwest of Pullman. Incensed, Brigadier General Newman Clarke directed Colonel George Wright to begin a campaign against those responsible for Steptoe's defeat. During the first week of September 1858, Wright's forces inflicted severe losses on the Indians at the Battle of Four Lakes, north of present-day Cheney, Washington, and at the Battle of Spokane Plains, west of present-day Spokane. These

engagements effectively ended Indian armed resistance in eastern Washington (Converse 1988; Utley 1967).

Today, the Palouse is recognized as the most productive wheat land in the United States, but these fertile soils were ignored by the early Euroamerican settlers. Wheat was first grown only in the bottom lands; farmers did not cultivate wheat in the uplands until the mid-1860s. Wheat flour was first exported from eastern Washington in 1867, laying the foundation for an expanding wheat-based economy. This sowed the seeds of a new kind of life on the Palouse in the late nineteenth and early twentieth centuries (Meinig 1995; Root 1989).

In 1870, Euroamerican settlement on the Palouse had scarcely begun, with a little stock raising and limited dry land farming. In 1872, only 1,000 people lived in Whitman County. By 1880, the population had swelled to 7,014. In a mere two decades, all of the Palouse was taken as homesteads, and most of the area was under cultivation (Gilbert 1882; Meinig 1995:232–233, 245–247).

The City of Pullman

The City of Pullman had its beginning in the 1870s when Bowlin Farr and Daniel G. McKenzie settled in the “Three Forks” area where Dry Fork and Missouri Flat creeks emptied into the South Fork Palouse River. Although local histories usually describe both men as homesteaders, General Land Office (GLO) records show that neither proved a homestead in Whitman County. Instead, the GLO records show that Farr acquired his 189.51 acres in the northeast quarter of Section 6 in T. 14 N., R. 45 E. through a cash sale on 30 June 1881. Six months later, on 30 December 1881, Daniel G. McKenzie purchased 160 acres in Section 5, on the east side of the Farr property. It was from these two adjoining properties that the 10 acre townsite of Three Forks was platted in 1882. Orville Stewart, who would later become the town mayor, opened the first store at the new townsite.

Various local, mostly undocumented, histories of the region claim that the townsite of Three Forks was replatted and renamed Pullman in 1884. However, a GLO map of Washington Territory printed in 1883 shows the town was already named Pullman by that date. Most local histories claim the new townsite name is derived from industrialist George Pullman, inventor of the luxury Pullman railway sleeping car, though this, too, is likely more local folklore than historic fact. According to Meinig (1995:359), Pullman is named after a member of the board of directors of the Oregon Railway & Navigation Company, as were other eastern Washington towns including Endicott, Oakesdale, Prescott, and Starbuck.

The association of the Oregon Railway & Navigation Company (OR&N) and the town of Pullman began in 1883 when a route for the Columbia & Palouse Railroad was surveyed to the townsite. The Columbia & Palouse Railroad Company, incorporated in June 1882, was the first to build a rail line into what is now Whitman County. Although the line eventually extended between Palouse Junction (Connell) and Colfax and finally eastward to Moscow, Idaho, work on the line was temporarily suspended 10 miles outside of Pullman when the company ran into financial difficulties. During the work hiatus, which lasted until 1885, the Columbia & Palouse Railroad was acquired by the OR&N, who completed the line into Pullman by October 1885. The Union Pacific Railroad began leasing the OR&N line in April 1887 (Washington State Railroads Historical Society 2005).

The prospect of building the rail line into Pullman encouraged the establishment of new businesses and spurred the growth of fledgling town. By the end of 1883, the Pullman commercial district boasted a furniture store, drugstore, two blacksmith shops, hardware store, livery stable, two hotels, and two saloons (*Pullman Herald*, 9 February 1889). However, just as the prospect of getting a rail line benefited the new town, the difficulties in getting the final few miles of track laid

temporarily slowed its commercial growth. Once the rail line was completed in October 1885, both commercial and residential development resumed.

In February 1886, the Spokane & Palouse Railway was organized by persons affiliated with the Eastern Washington Railway, a subsidiary company of the Northern Pacific Railroad (Demo 2000:2). By the following year, the line was completed between Spokane and Pullman, thus connecting Pullman to the main transcontinental line. In February 1899, the Northern Pacific acquired all of the property of the Spokane & Palouse Railway Company, which became the Palouse & Lewiston, Genesee and Farmington branches (Washington State Railroad Historical Society 2005). Today, the only line operating in Whitman County is the Palouse River & Coulee City Railroad, which maintains some of the tracks that were formerly part of the Northern Pacific and Union Pacific Railroads.

The City of Pullman was incorporated in 1888 and reorganized in 1890. That year, Pullman shipped one million bushels of wheat by rail (Kirk and Alexander 1990:197). It was also on 3 July 1890 that the downtown district suffered its third catastrophic fire. The first fire, which occurred on 4 July 1886, reduced several businesses with all their contents to ashes. Undaunted, the merchants rebuilt their businesses only to have them succumb to flames less than one year later. On 26 June 1887, a defective chimney in Orville Stewart's store started another fire that destroyed every downtown business except the drugstore and the Nodine building, which was then just under construction (*Pullman Herald*, 9 February 1889). Following the 1890 fire, the destroyed buildings were replaced with more permanent brick buildings that formed the nucleus around which modern downtown Pullman is built. The town trustees also required warehouses built after the fire to be covered with corrugated iron (Bush 2005). Another result of the 1890 fire was the establishment of the Pullman Fire Department.

The commercial and residential development of Pullman followed a pattern common to many towns throughout the Palouse region whereby most commercial development occurred along the river and creek bottomlands and the residential neighborhoods occupied the uplands overlooking the valley bottoms (McCoy et al. 2006). The earliest residential development in Pullman occurred on Pioneer and Sunnyside hills, south and west of the downtown commercial district. Development of College and Military hills, north of the commercial district, followed as the new college developed and the population grew.

The most important event that charted the future course of Pullman's development was the selection of the city as the location for the Washington Agricultural College, Experimental Station, and School of Science (later known as Washington State College). Shortly after Washington was granted statehood in November 1889, the first State Legislature acquired a federal land grant for an agricultural college under the terms of the Morrill Act that was signed into law in 1862. Pullman was selected as the location for the new college in April 1891. The institution that eventually became Washington State University opened in January 1892, and continues to dominate the economic and cultural landscape of Pullman and the surrounding region. The growth of the new college was accompanied by the residential development of College Hill. This upland area, north of the commercial district and west of campus, has served as a place of residence for faculty, staff, and students ever since (McCoy et al. 2006).

By 1910, Pullman had grown to a population of 2,602, nearly overtaking the county seat of Colfax, which was home to 2,783 people. That year, Pullman experienced the largest flood in its history. The South Fork of the Palouse River, Missouri Flat Creek, Paradise Creek, and Dry Fork Creek flooded low lying areas, including downtown Pullman which lies in the South Fork Palouse River bottomland Figure 2 (Kirk and Alexander 1990:197–198; Meinig 1995:330–333, 450–451).



Figure 2. Looking northward along North Grand Avenue during the 1910 flood, west of the Maple Street-Maiden Lane survey area.

The Maple Street-Maiden Lane Survey Area

The Maple Street-Maiden Lane survey area is located on the south side of College Hill, a few blocks northeast of modern downtown Pullman. As noted above, College Hill is one of four upland areas above the South Fork Palouse River where most of the early residential development of Pullman occurred. The hill was originally called Mechanics Hill, but as the college grew and began to dominate the development of this upland region, Faculty Hill and later College Hill supplanted Mechanics Hill as the accepted moniker.

McCoy et al. (2006) describe several phases of development on College Hill, which we will summarize here as they relate to the Maple Street-Maiden Lane survey area. The first phase of development occurred on the lower slopes of southwestern edge of the hill, an area platted as part of the original townsite in 1881. Four of the buildings in the present inventory, all on the 300 and 400 blocks of Maple Street, are within the Pullman Original Plat, though all were built well after the original townsite was established.

By the early 1890s, the southern slope of College Hill east of the original townsite had been platted as Reaney's First, Second, and Third Additions. As McCoy et al. (2006) note, there was little interest in developing these lots before Pullman was selected as the home of the new agricultural college. The 1908 Sanborn Fire Insurance maps show considerable development within these additions by that time. Thirty-two of the 36 properties included in this survey are located within one of these three additions.

The Maple Street-Maiden Lane survey area is historically and thematically linked to the College Hill Historic District located immediately to the north. This National Register district took shape between 1888 and 1946 (McCoy et al. 2006). All but one of the buildings inventoried in the current

survey area were built during this same period. And, like the College Hill District, the Maple Street-Maiden Lane survey area has served as a residential neighborhood tied to the university. During the early decades following the founding of the college, this area was occupied primarily by faculty and staff and is often referred to as Faculty Hill in early newspaper accounts. Today, most of the buildings included in the survey area are occupied by students.

As listed in Table 1, the Whitman County Assessor records indicate that over half of the buildings in the survey area were built between 1903 and 1919. Of particular interest is a notable rise in the number of houses built on College Hill in 1904. This period of expansion coincides with the successful effort by college administrators to diversify the academic scope of the school beyond its initial focus on agriculture and science, which culminated in renaming the institution the State College of Washington in 1905. The school received its current name, Washington State University, in 1959.

Table 1. Maple Street-Maiden Lane Inventory Buildings Dates of Construction.

Date	No. of Buildings Constructed
1903–1908	11
1910–1919	10
1920–1928	5
1930–1938	7
1946	2
1965	1

Early on, many of the houses within the Maple-Street-Maiden Lane survey area appear to have been occupied by their owners. Through the years, however, it has become more common for the house owner to reside elsewhere (either at another address in Pullman or out of town) and to rent their houses in Maple Street-Maiden Lane neighborhood to college students. The consequences of this practice on the architectural integrity of the buildings are significant. First, many of the original single-family dwellings are now divided into multiple rental units to maximize occupancy. In one instance (530 Maiden Lane), the building that was originally a single-family dwelling is now divided into multiple rental apartments. Additions to accommodate new rental units also are common. Second, houses occupied by students typically sustain more structural damage than a house occupied by a resident owner who has a long-term commitment to the upkeep of the building. During the inventory, we noted that windows and doors were particularly susceptible to repeated damage and eventual replacement. Sixty-nine percent of the primary buildings included in the present inventory have either moderate ($n = 11$) or extensive ($n = 14$) changes to windows. Half have moderate ($n = 4$) to extensive ($n = 14$) changes to doors. An examination of the City's permitting records shows that City building inspectors have repeatedly identified "deficiencies" at several houses converted to rental properties. A systematic inspection conducted in 1976 identified several properties included in the present inventory as "substandard housing." These include 460 Maiden Lane (Building 36), 530 Maiden Lane (Building 23), 540 Maiden Lane (Building 22), 550 Maiden (Building 21), and 435 Maple Street (Building 27).

Two streets within the survey area, Campus and Maple, originally had different names. Historic maps indicate the names of both streets were changed between 1920 and 1928. On the 1920 *Map of Pullman and the State College of Washington*, Campus Street is labeled Montgomery Street, but was changed to Campus Street on the 1928 edition of the same map (WSU Libraries Digital Collections, <http://kaga.wsulibs.wsu.edu/zoom/zoom.php?map=wsu109>; <http://kaga.wsulibs.wsu.edu/zoom/zoom.php?map=wsu109>).

edu/zoom/zoom.php?map=wsu112). Only one of the three houses inventoried on Campus St. (455 Campus St., Building 13) is old enough to have had a Montgomery Street address. The other two buildings were built after the name changed to Campus Street.

Maple Street, which was established in the early 1890s as the main thoroughfare between the downtown district/railroad depot and College Hill, is variously labeled Star Route or Star Route Street on early city maps. The term “star route” was coined by the U. S. Postal Service and refers to a contracted mail route. Such routes were awarded to the lowest bidder for what “may be necessary to provide for the due celerity, certainty and security of such transportation.” Postal clerks often abbreviated the phrase “celerity, certainty and security” by writing three asterisks or stars (***). Thus, the bids became known as star bids, and the mail routes became known as star routes (http://about.usps.com/publications/pub100/pub100_017.htm). The street is labeled Star Route Street on the 1920 *Map of Pullman and the State College of Washington*, but was changed to Maple Street on the 1928 edition of the map. The street is labeled “Maple Av. (Star Route)” on the August 1929 Sanborn fire insurance map.

Adding to the confusion of street name changes, the block numbering system currently used by the City of Pullman was not established until 31 May 1972 (Hughlett 1972). At that time, the City reassigned block numbers along Grand Avenue and Main Street so that the focal point for the new block numbering system radiated out from the intersection of these two streets (i.e., the city’s modern commercial center). Changes to block numbers along the east-west axis (Main Street) were not great. However, there was a significant shift in block numbers along the north-south axis (Grand Avenue), with the north 100 block of Grand Avenue shifting eight blocks to the north. This resulted in equally significant changes to block numbers on north-south arterial streets such as those within the survey area. Thus, the former 1400 block of Maple Street is now the 600 block. Current and previous addresses for buildings included in the present inventory are listed in Table 2.

The southernmost (300) block of Maple Street, between present Whitman and Palouse streets, is paved in brick and was the subject of a recent historical research project sponsored by the College Hill Association and the WSU Center for Civic Engagement. This is the steepest portion of Star Route/Maple Street which posed a challenge to both hoofed and wheeled traffic during wet periods. Compounding the problem of the grade was the steep drop at the south end of the street where it met Railroad Street (present Palouse Street). A plea from an anonymous citizen printed in the *Pullman Herald* highlighted the need for safety measures along this dangerous stretch of road:

Perhaps the most dangerous street in the county is the one at the corner of Railroad and Star Route streets just below the Christian church. At that point there is an almost perpendicular jump-off of eighteen or twenty feet with the Northern Pacific track lying beneath. If a team should run away on coming down Star Route it would in all probability dash over that yawning precipice. Death would be inevitable (*Pullman Herald*, 9 February 1907).

The portion of Star Route (Maple Street) referenced in the 1907 newspaper article was finally paved with brick in 1912–1913. The new brick street provided better traction for horses and the new automobiles that were beginning to supplant horses as the primary mode of transportation. A year after the Star Route brick paving project was completed, the City of Pullman passed Resolution 269, which called for the paving of Maiden Lane. Interestingly, this proposed improvement met with considerable opposition by Maiden Lane property owners:

The property owners who signed the protest against the improvement were G. F. Livingston, H. W. McCann, A. D. Baum, R. W. Parr, W. E. Waller, Mrs. W. G. M. Hays, Mrs. M. V. Batts, A. D. Wexler, S. V. Hunt, Ida W. Glaze, Wm. Yoe, John Brooks, E. G. Gill, S. G. Newell, I. M. Kneen, W. S. Pritchard, W. H. Tapp, Albert E. Egge, Mrs. Myrtle

Zimmerman, and Mrs. H. C. Baird. The protest was based on the assertion that the expense of the improvement, added to the exceedingly high taxes, would prove confiscatory in several instances; that the new street grades would reduce the value of abutting property, and that the sidewalk grades in many instances would be difficult and expensive (*Pullman Herald*, 22 May 1914).

Table 2. Address Changes Made in 1972.

Building	Current Address	Pre-1972 Address
1	615 Maple St.	1403 Maple St.
2	625 Maple St.	1405 Maple St.
3	635 Maple St.	1407 Maple St.
4	635 Maple St.	1407 Maple St.
5	620 Maple St.	1404 Maple St.
6	405 Oak St.	301 Oak St.
7	415 Oak St.	303 Oak St.
8	635 Opal St.	1407 Opal St.
9	450 Oak St.	310 Oak St.
10	450 Oak St.	310 Oak St.
12	675 Opal St.	1507 Opal St.
13	455 Campus St.	311 Montgomery St./311 Campus St.
14	445 Campus St.	309 Campus St.
15	450 Campus St.	310 Campus St.
16	440 Ash St.	308 Ash St.
17	400 Ash St.	304 Ash St.
18	530 Maple St.	1306 Maple St.
19	520 Maple St.	1304 Maple St.
20	535 Maiden Ln.	1305 Maiden Ln.
21	550 Maiden Ln.	1310 Maiden Ln.
22	540 Maiden Ln.	1308½ Maiden Ln.
23	530 Maiden Ln.	1308 Maiden Ln.
24	510 Maple St.	1302 Maple St.
25	500 Maple St.	1300 Maple St.
26	410 Spaulding St.	302 Spaulding St.
27	435 Maple St.	1207 Maple St.
28	625 Opal St.	1405 Opal St.
29	300 Maple St.	1100 Maple St.
30	330 Maple St.	1106 Maple St.
31	340 Maple St.	1108 Maple St.
32	400 Maiden Ln.	1110 Maiden Ln.
33	410 Maiden Ln.	1112 Maiden Ln.
34	430 Maiden Ln.	1202 Maiden Ln.
35	440 Maiden Ln.	1204 Maiden Ln.
36	460 Maiden Ln.	1208 Maiden Ln.
37	470 Maiden Ln.	1210 Maiden Ln.

Records Review

DAHP Records

One archaeological site, the old Pullman City Dump (45WT132), is located within 1.6 km (1 mi.) of the Maple Street-Maiden Lane Inventory area. The dump is located in the northwestern part of the city, 1.3 km northwest of the survey area. WISAARD includes Historic Property Inventory (HPI) records for 338 historic buildings and structures within 1.6 km (1 mi.) of the inventory area. Four of these are within the survey area, but only three of these property owners gave permission to include the buildings in the present inventory. These included buildings are the Washington Court Apartments at 300 Maple Street (DAHP No. 38-00409), the single-family dwelling at 625 Maple Street (DAHP No. 38-00419), and the single-family dwelling at 410 Spaulding Street (DAHP No. 38-00380). The inventory form for the Washington Court Apartments contains a short architectural description whereas there are no descriptions of the other two properties. The 625 Maple Street and 410 Spaulding Street buildings are listed only as legacy data and contain no physical descriptions or photographs.

One house located at 655 Maple Street (DAHP No. 38-00421) is in the inventory area, but was not included because the owner declined consent. This house was recorded by Mary Reed in 1986. She notes this is the Dr. M. J. Kinsey home, which is a Prairie Style and vernacular two-story house built in 1916. Dr. Kinsey had a medical office in the front of the house. The second story was added as the family grew and needed more living space. The house was renovated in the 1940s. When the house was recorded in 1986, it was owned by Margaret McNew and was listed in excellent condition.

Eight individual National Register properties and one National Register district are located within 1.6 km (1 mi.) of the inventory survey area. A list of the individual properties and their proximity to the Maple Street-Maiden Lane survey area is provided in Table 3. The United Presbyterian Church (also known as Greystone Church) is surrounded by the survey area, but was not included in the inventory since it is already listed on the National Register. The parsonage associated with the church (440 Maple Street) is in the inventory area, but the present owner declined consent to have it included.

Table 3. Individual National Register Properties Within 1 Mile of the Survey Area.

Property Name	Register No.	Date Added	Distance from Survey Area
United Presbyterian Church	89002095	1989	adjacent
Hutchison Studio (Swilly's Restaurant)	10000418	2010	140 m west
Pullman Post Office	03000810	2003	260 m southwest
Cordova Theater	04000200	2004	279 m west
Pullman High School	98001017	1998	405 m west
Swain House	94000801	1994	520 m west
Stevens Hall	79002567	1979	600 m east
Thompson Hall	73001894	1973	635 m east

The College Hill Historic District (45DT210) was added to the National Register of Historic Places in 2006 (Register No. 06000701). The district is located directly north of, but not contiguous with the Maple Street-Maiden Lane survey area (Figure 1). A large block of buildings within the Maple Street-Maiden Lane survey area that are closest to the district were not recorded because the owners declined consent to have them included in the present inventory. These include two houses

on the 400 block of Colorado Street, eight houses on the 400 block of Campus Street, four houses on the 400 block of Oak Street, and six houses on the 600 block of Maple Street (see discussion under Field Procedures below). The house at 450 Campus Street (Building 15) is the building closest to the College Hill District that is included in our inventory. This house lies 100 m south of the southern boundary of the district. The College Hill District is a single-family residential district that covers 23.7 acres and was occupied primarily by faculty, staff, and students of Washington State College during its period of significance (1888–1946). The district contains 101 buildings (81 contributing; 20 non-contributing) and 45 structures (32 contributing; 13 non-contributing) (McCoy et al. 2006).

General Land Office (GLO)

The earliest General Land Office (GLO) record for Sec. 5 of T. 14 N., R. 45 E. is a cash sale to Daniel G. McKenzie on 30 December 1881. Mr. McKenzie's purchase included 160 acres south of the Maple Street-Maiden Lane survey area. All of the survey area was included in the 109.57 acres purchased in the N $\frac{1}{2}$ of the NW $\frac{1}{4}$ of the section by William Ellsworth on 7 June 1883. The remainder of the section was either purchased by Edison Ellsworth and Leonard Crawford or homesteaded by William Froman in December 1883. No homestead patents were issued for the land within the survey area.

The original GLO cadastral survey plat for T. 14 N., R. 45 E. was surveyed before any development had taken place within the present city of Pullman. The only cultural features shown within the present city limits on the original GLO cadastral survey plats for T. 14 N., R. 45 E. (surveyed in September-October 1875) and T. 15 N., R. 45 E. (surveyed in August-September 1874) are two wagon roads and an old foot trail (Figure 3). The wagon roads meet southeast of the confluence of the South Fork Palouse River and Missouri Flat Creek, probably near the present intersection of Main Street and Grand Avenue. The foot trail extends down into the valley bottom from the south, then follows the same tread as the wagon road through the Missouri Flat Creek valley before deviating on a more northerly course near the point where Albion Road intersects State Route 27 north of Pullman. The plat also shows the South Fork Palouse River crossing through the project area. This is clearly a mapping error as the project area is located on the hillside above the river valley.

Sanborn Fire Insurance Maps

There are seven editions of Sanborn maps for Pullman that date from May 1889 through May 1949. The Sanborn maps of May 1889 and January 1891 only cover the area that is now downtown Pullman along Main Street and adjoining blocks and do not extent to the inventory area. This is likely because no buildings were yet present at those dates.

The January 1893 map includes the northwestern side of Star Route (Maple Street) from Railroad Street (now Palouse) northward to Ash Street (Figure 4). This includes what is now the 300 through 600 blocks of Maple Street. There were three wood frame dwellings with brick or stone chimneys between Railroad and Whitman streets. The three lots all had outbuildings, including two with stables (the buildings marked with an "X"). There was a single-story, framed dwelling on the corner of Star Route and Spaulding with a stable in the back of lot along the alley. On the corner of Star Route and the south side of Ash, there was a two-and-a-half story frame dwelling with a brick or stone chimney. On the northern corner of Ash, there was a one-and-a-half story dwelling with a wood outbuilding in the back of the lot.

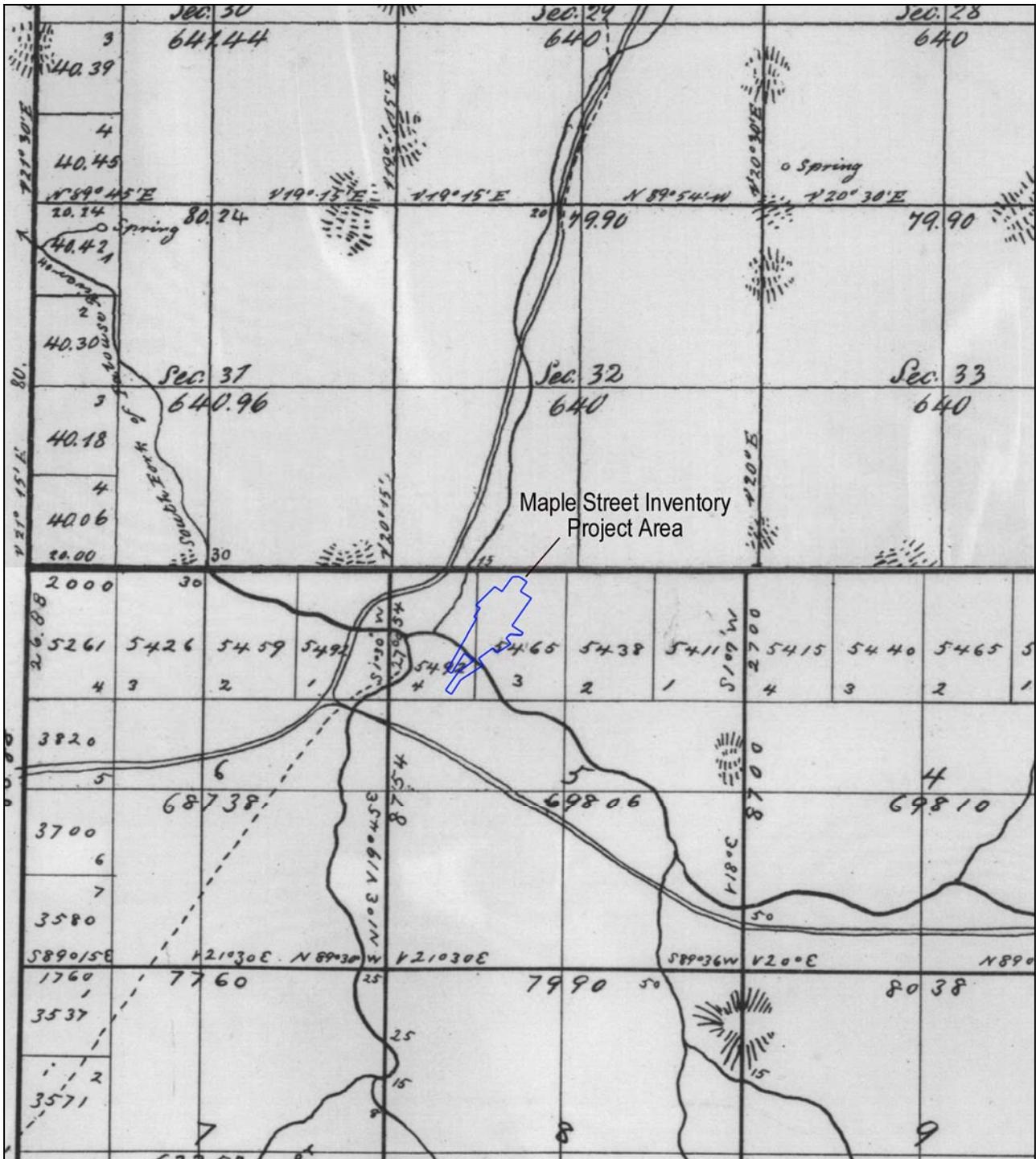


Figure 3. Portions of General Land Office cadastral survey plats for T. 14 N., R. 45 E. (surveyed in September-October 1875) and T. 15 N., R. 45 E. (surveyed in August-September 1874) with the Maple Street Inventory survey area boundary superimposed. Note that the South Fork Palouse River is incorrectly shown crossing through the project area. The river actually flows at the base of the hill south of the project area.

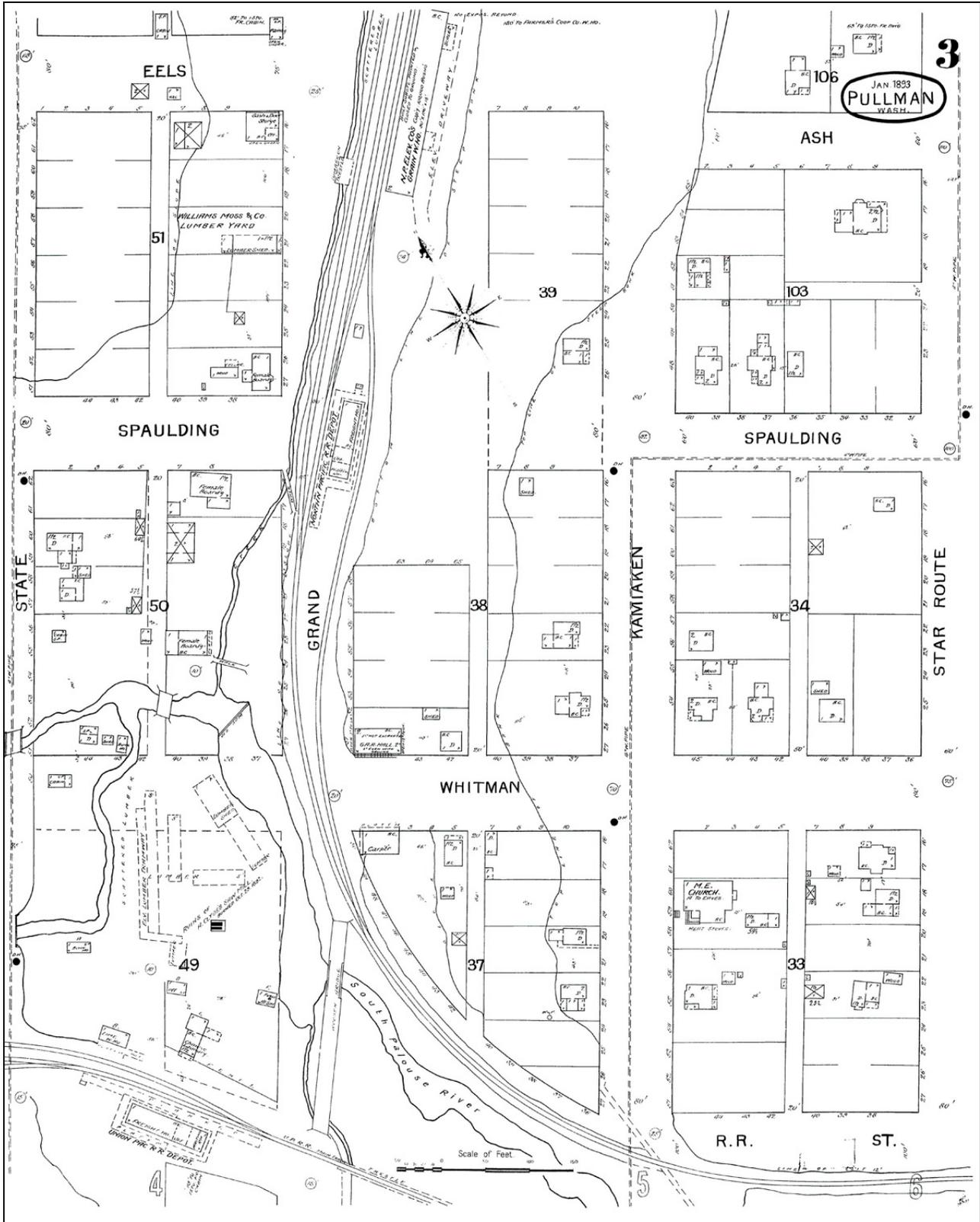


Figure 4. The January 1893 Sanborn Fire Insurance map, Sheet 3, including a portion of the Maple Street-Maiden Lane historic building inventory area.

The 1896 Sanborn shows few changes from 1893 (Figure 5). The southernmost block on Star Route shows only an enlargement of the stable in the back of one of the lots. The house on the southern corner of Star Route and the Spaulding Street shows additions to the northwest and southwest elevations as well as additions to the stable in the back of the lot. On the northern side of the corner, a one-story, wood frame house had been built, along with a stable on the northeast edge of the lot. The house on the southern corner of Star Route and Ash shows a new addition on the northwest elevation and a new stable in the western corner of the lot. The house across the street on the northern corner of Ash remained unchanged. None of the nineteenth century buildings remain today.

The August 1908 Sanborn maps show that the pace of development increased with houses built on most of the lots in the inventory area (Figure 6, Figure 7, Figure 8). Nine buildings in the present inventory area that were constructed from 1903 to 1908 are shown on the Sanborn maps. This early period of residential expansion on College Hill, which began in 1904, was driven by the diversification of Washington Agricultural College beyond its initial focus on agriculture and science. This led to renaming the school Washington State College in 1905 (McCoy et al. 2006). Houses with current addresses of 530 Maple, 615 Maple, 635 Maple, 635 Opal, 455 Campus, 410 Maiden Lane, and 530 Maiden Lane are all drawn on the 1908 maps. A stable behind the house at 635 Maple was also present and still stands at the back of the lot. The Christian Church on Star Route (present address 340 Maple) was built in 1905, though it has been so thoroughly remodeled it no longer resembles the original church. The buildings that still stand in the inventory area that are on the 1908 maps are shaded.

The August 1929 maps cover a much expanded area of College Hill compared to the 1908 maps indicating the continuing residential development and expansion on College Hill. In addition to the residential dwellings, these maps indicate construction of apartment buildings and boarding houses (Figure 9, Figure 10). Maple Street is now labeled by its current name (though labeled "Maple Av." and Montgomery Street was renamed and is labeled "Campus Av." The Elmhurst Apartments are shown on the corner Maple and Oak streets. Another indication of the growing influence of Washington State College is the presence of a building labeled "Frat Ho." This was the Phi Delta Theta fraternity and later the Alpha Gamma sorority. Finally, the onset of the age of automobiles is signified by the presence of garages. Most houses have vehicle garages, which are denoted on the maps by an "A" in the middle of the building plan, indicating an "Auto House or private garage" (Sanborn Map Company 1942).

The 1949 Sanborn maps consist of the 1929 base maps with only changes that occurred from 1930–1949 entered on the updated maps. Nine buildings were constructed from 1930 to 1949 (Figure 11, Figure 12). At least eight of these replaced earlier buildings. The house now at 520 Maple (old address 1304 Maple on the Sanborn map) was built in 1933, though its plan did not change on the map from 1929 to 1949. The plan of the building on the 1929 map, however, corresponds with the plan on the 1949 map and matches the plan of house now at this address. Thus, the date in the assessor's records may be incorrect. The house on the south side of the alley at 510 Maple, a Modern-Minimal Traditional home, was built in 1936. This replaced the house that was in this location in 1929. Likewise, the houses at 450 Campus (built in 1946), 445 Campus (1937), 625 Maple (1930), 430 Maiden Lane (1926), and the Sacred Heart Church at 400 Ash (1935) all replaced earlier residential buildings that were mapped in 1929. The houses at 330 Maple (1946) and 470 Maiden Lane (1930) were built on vacant lots. Thus, by the 1930s and 1940s, newer construction was replacing older buildings.

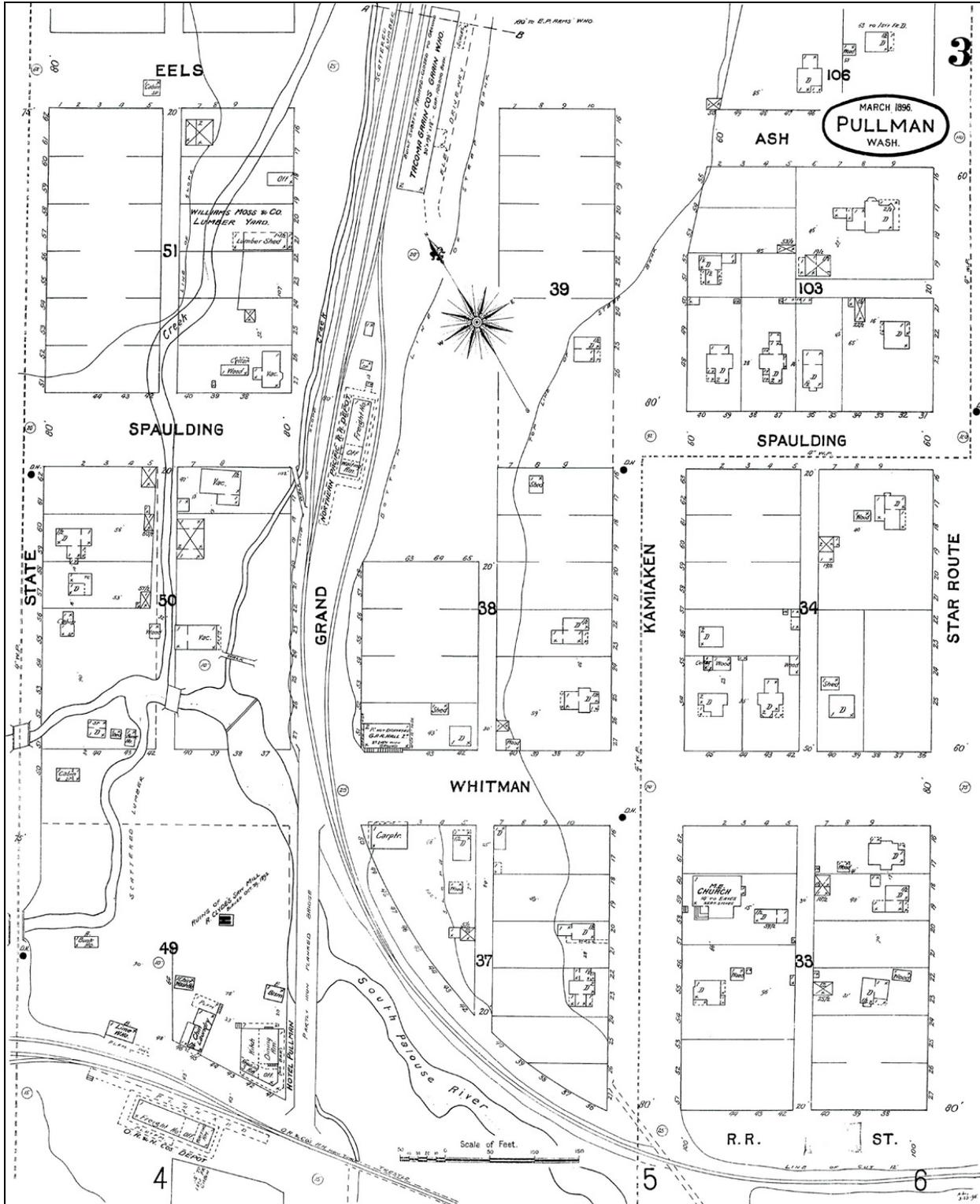


Figure 5. The March 1896 Sanborn Fire Insurance map, Sheet 3, including a portion of the Maple Street-Maiden Lane historic building inventory area.

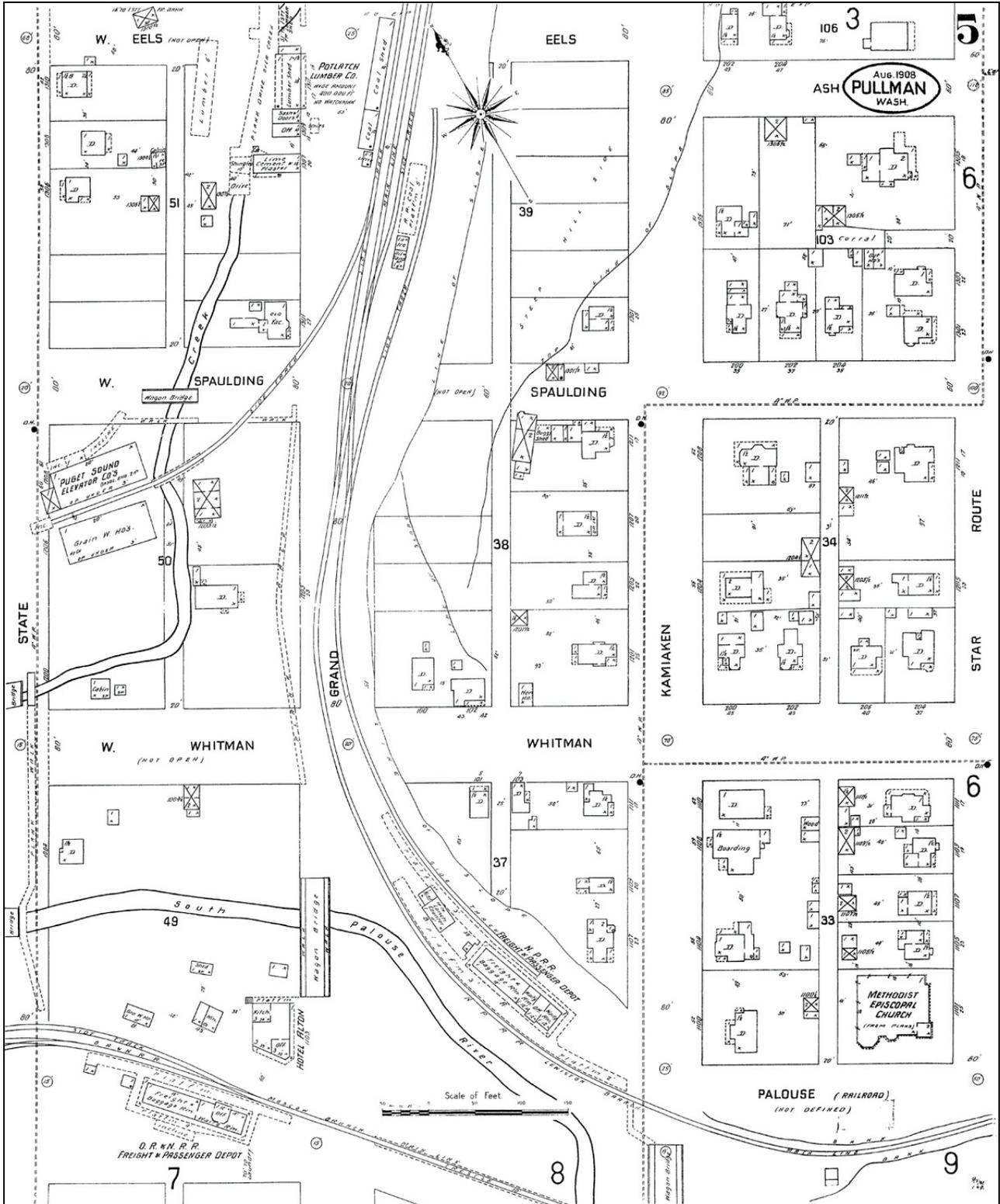


Figure 6. The August 1908 Sanborn Fire Insurance map, Sheet 5, including a portion of the Maple Street-Maiden Lane historic building inventory area.

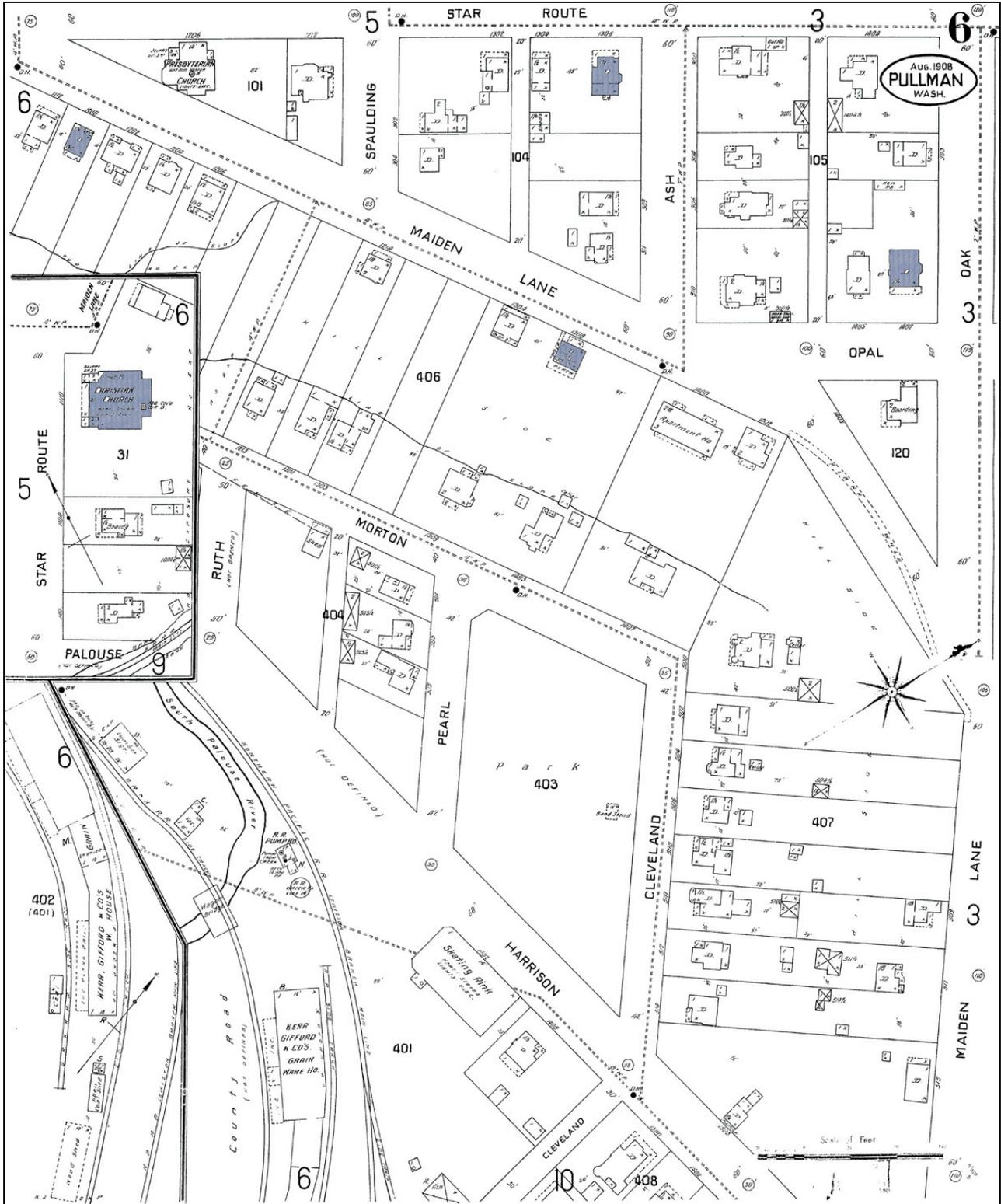


Figure 7. The August 1908 Sanborn Fire Insurance map, Sheet 6, including a portion of the Maple Street-Maiden Lane historic building inventory area (note that north is to the upper right on this map, but to the upper left in the inset). Inventoried buildings that are still standing are shaded.

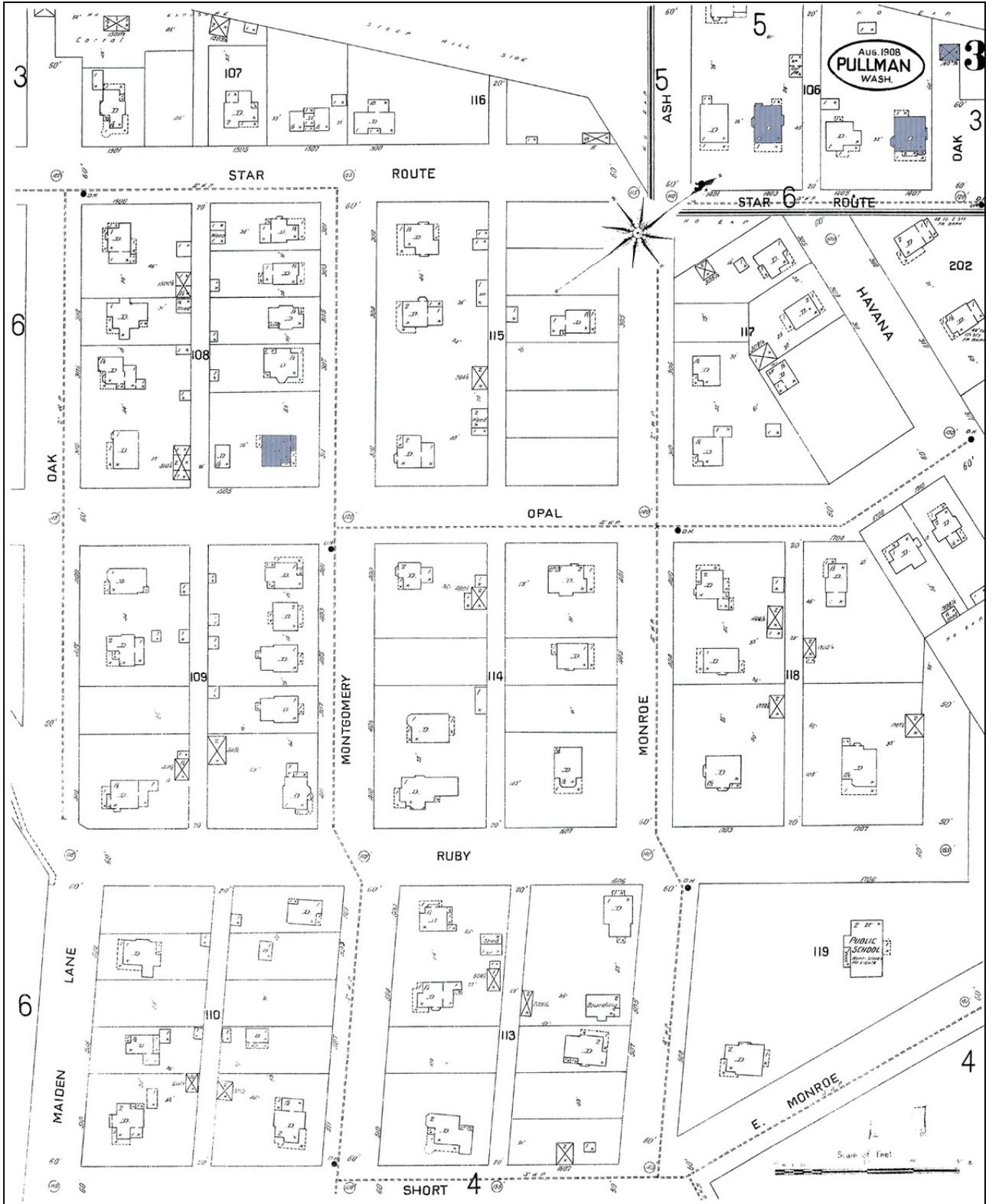


Figure 8. The August 1908 Sanborn Fire Insurance map, Sheet 3, including a portion of the Maple Street-Maiden Lane historic building inventory area (note inset map of the western side of Star Route). Inventoried buildings that are still standing are shaded.

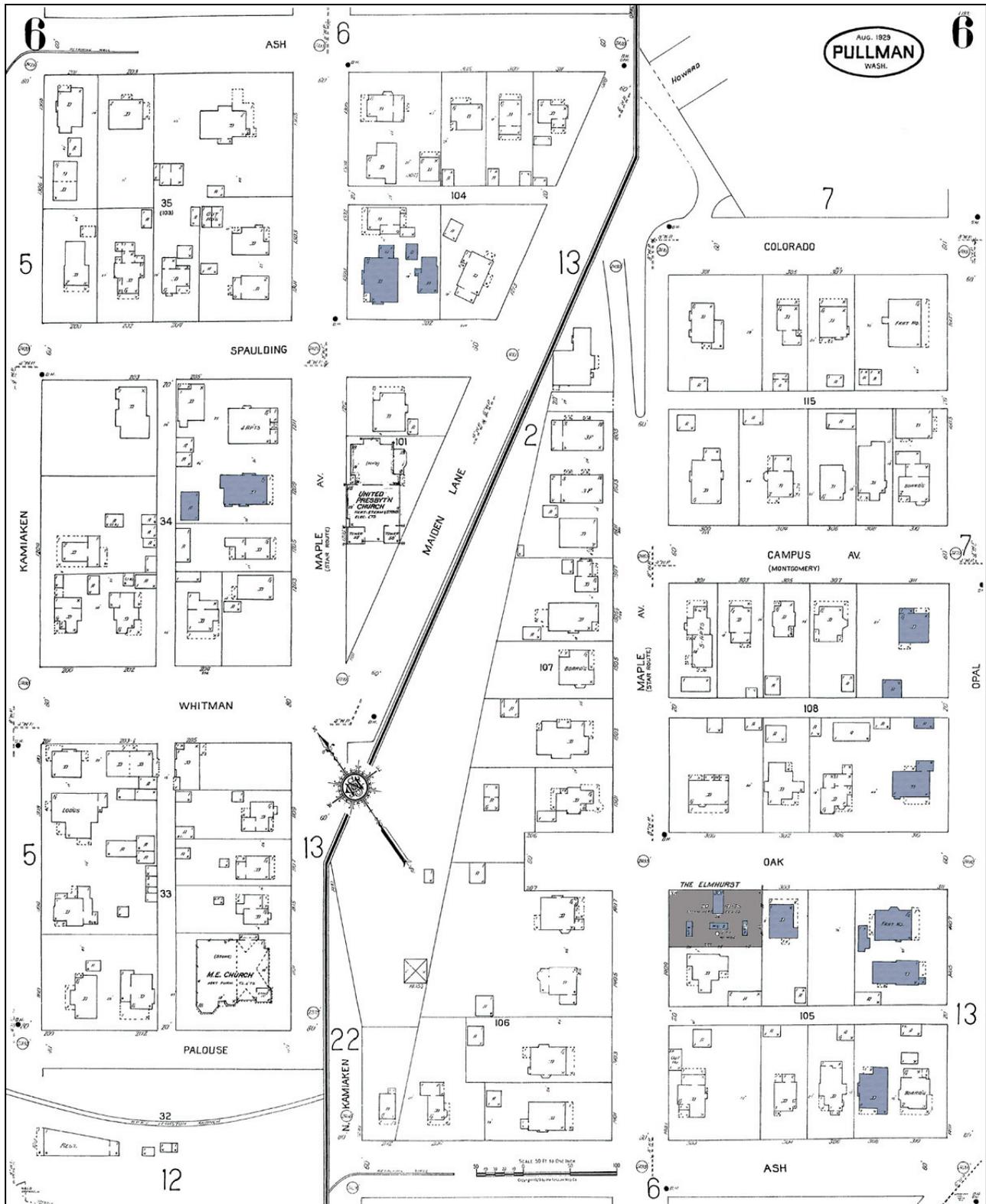


Figure 9. The August 1929 Sanborn Fire Insurance map, Sheet 6, including a portion of the Maple Street-Maiden Lane historic building inventory area. Inventoried buildings built from 1909–1929 that are still standing are shaded.

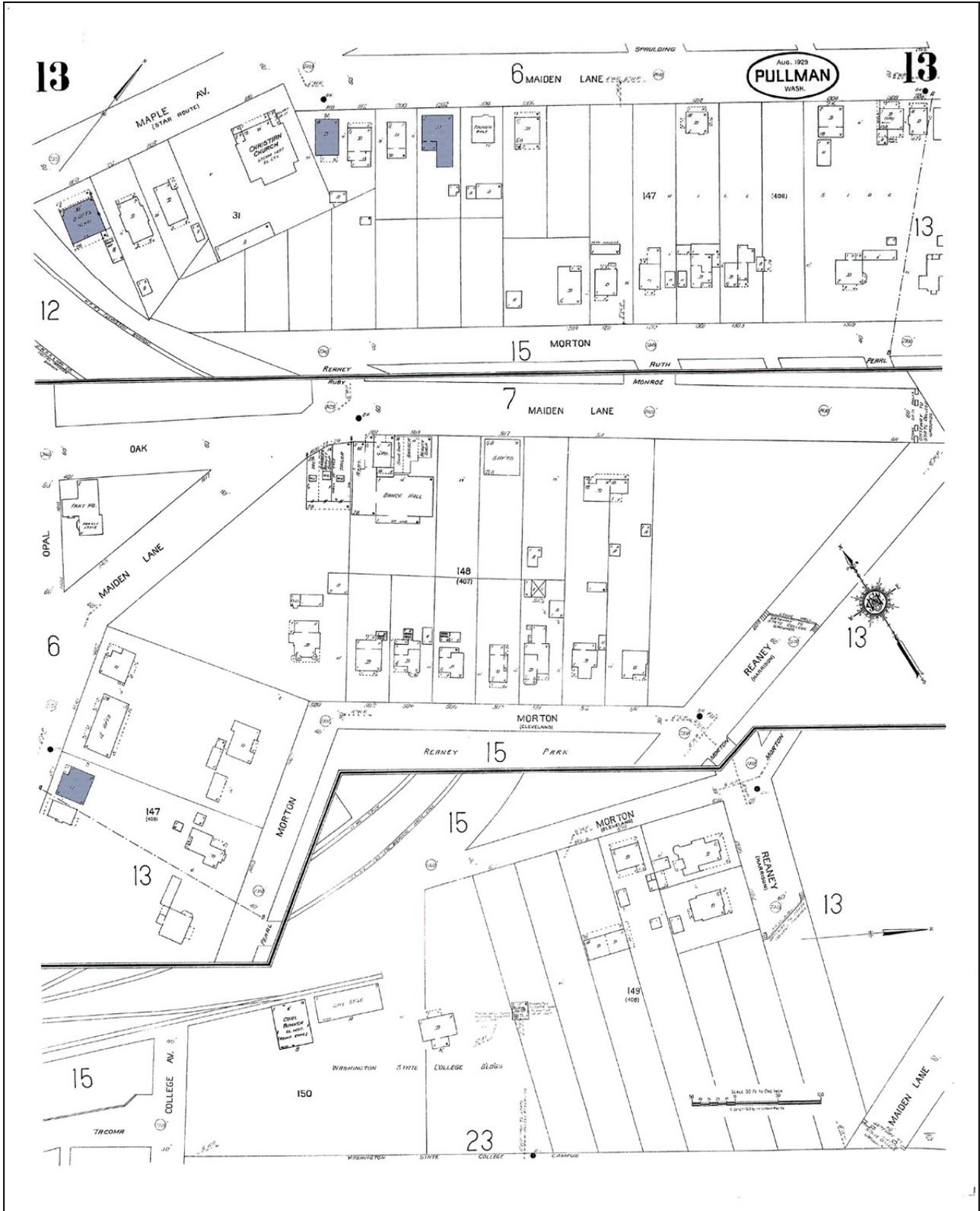


Figure 10. The August 1929 Sanborn Fire Insurance map, Sheet 6, including a portion of the Maple Street-Maiden Lane historic building inventory area. Inventoried buildings built from 1909–1929 that are still standing are shaded.

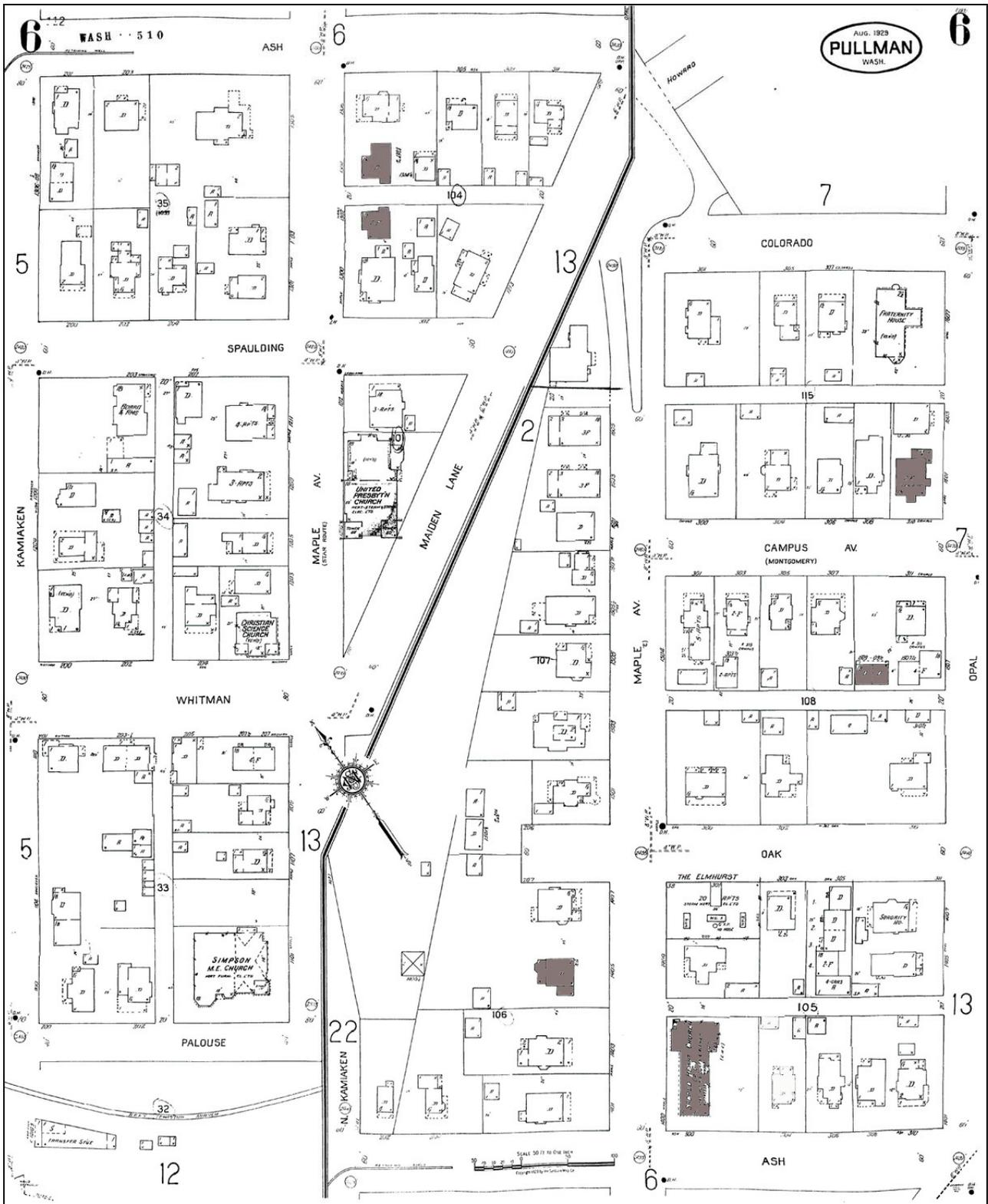


Figure 11. The 1949 (updated from 1929) Sanborn Fire Insurance map, Sheet 6, including a portion of the Maple Street-Maiden Lane historic building inventory area. Inventoried buildings built from 1930–1949 that are still standing are shaded.

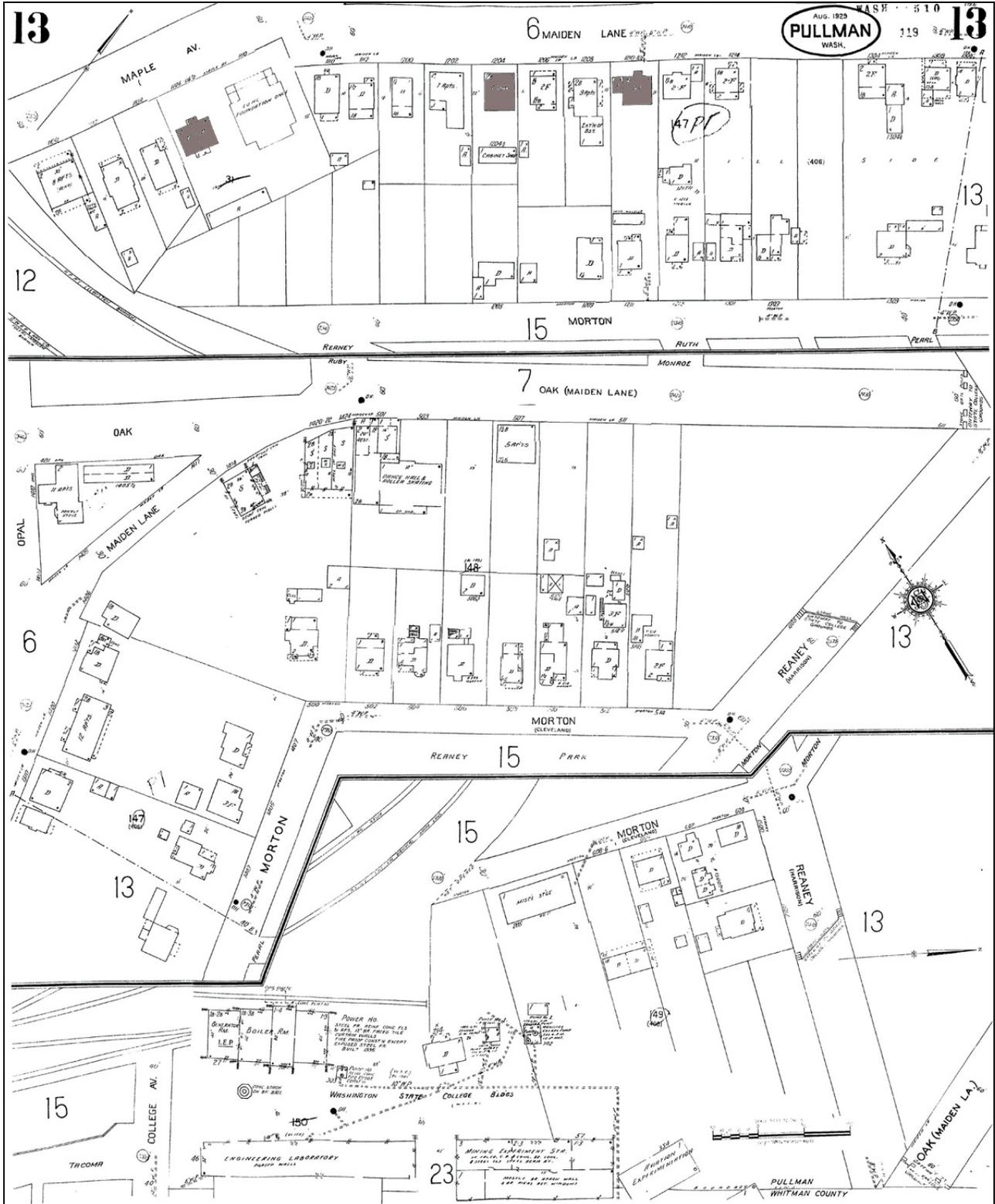


Figure 12. The 1949 (updated from 1929) Sanborn Fire Insurance map, Sheet 6, including a portion of the Maple Street-Maiden Lane historic building inventory area. Inventoried buildings built from 1930–1949 that are still standing are shaded.

The only building not portrayed on the Sanborn Maps is the large multi-story apartment building at 535 Maiden Lane. This lot is marked on both the 1929 and 1949 maps with the same one-story wood frame residence and two outbuildings.

Field Procedures

After the initial survey area was defined and one month before beginning of fieldwork, the City of Pullman mailed letters explaining the inventory project to the owners of all buildings within the inventory area. These letters explained the project and survey process and offered owners the opportunity to have their properties excluded from the inventory with a simple opt-out form. Of the 61 properties included in the original inventory area, the owners of only 27 properties did not opt out. Owners of the other properties opted out. One building, a recently constructed apartment complex at 605 Maple Street, is modern and was not formally recorded.

Because of the large number of properties where owners declined consent, the City of Pullman in consultation with Rain Shadow Research expanded the inventory area to include 11 more properties on the eastern side of Maple Street between Whitman and Palouse streets (300 block), and the eastern side of the 400 block of Maiden Lane. As before, the City of Pullman mailed opt-out forms to the owners of these additional properties. The owners of 310 Maple Street and 450 Maiden Lane opted out of the inventory. The expanded Maple Street-Maiden Lane inventory area is shown in Figure 13 and Figure 14. We recorded the remaining nine properties, bringing the total of inventoried properties to 36. These 36 properties include 35 residential buildings (including multi-occupant apartments) and one former stable. There are seven detached garages that are associated with the original houses on those properties. We recorded these seven buildings with the associated houses as one property. During fieldwork, we assigned numbers to each property to make cross-referencing easier and simplify labeling maps. A list of properties where the owners opted out is provided in Table 4.

Table 4. Properties Excluded from Inventory at the Request of Owner.

Street	Addresses of Excluded Properties
Ash Street	425, 450
Campus Street	400, 405, 415, 420, 425, 430, 435, 440
Colorado Street	405, 415
Maiden Lane	450, 505, 600, 625
Maple Street	310, 415, 440, 445, 505, 515, 643, 645, 655, 665, 675, 685
Oak Street	400, 420, 430, 435
Opal Street	715
Whitman Street	330, 335

Before conducting the field inventory and in-field architectural descriptions, we examined tax parcel information posted on the Whitman County Assessor website (www.whitmancounty.org) to determine the ages of the buildings to be inventoried. For properties where we could not find the pertinent information online, we examined the original hard copies on file at the County Courthouse in Colfax. Robert R. McCoy (Ph.D.), Dulce L. Kersting (M.A.), and Robert R. Franklin (B.A., M.A. candidate in history, Washington State University) completed the in-field architectural descriptions of the 36 historic properties from 22 April to 13 May 2013. Matthew J. Root (Ph.D.) and Allison Munch-Rotolo (Ph.D.) conducted all photography. Daryl E. Ferguson (M.A.) completed all other field data recording and coordinated all work.

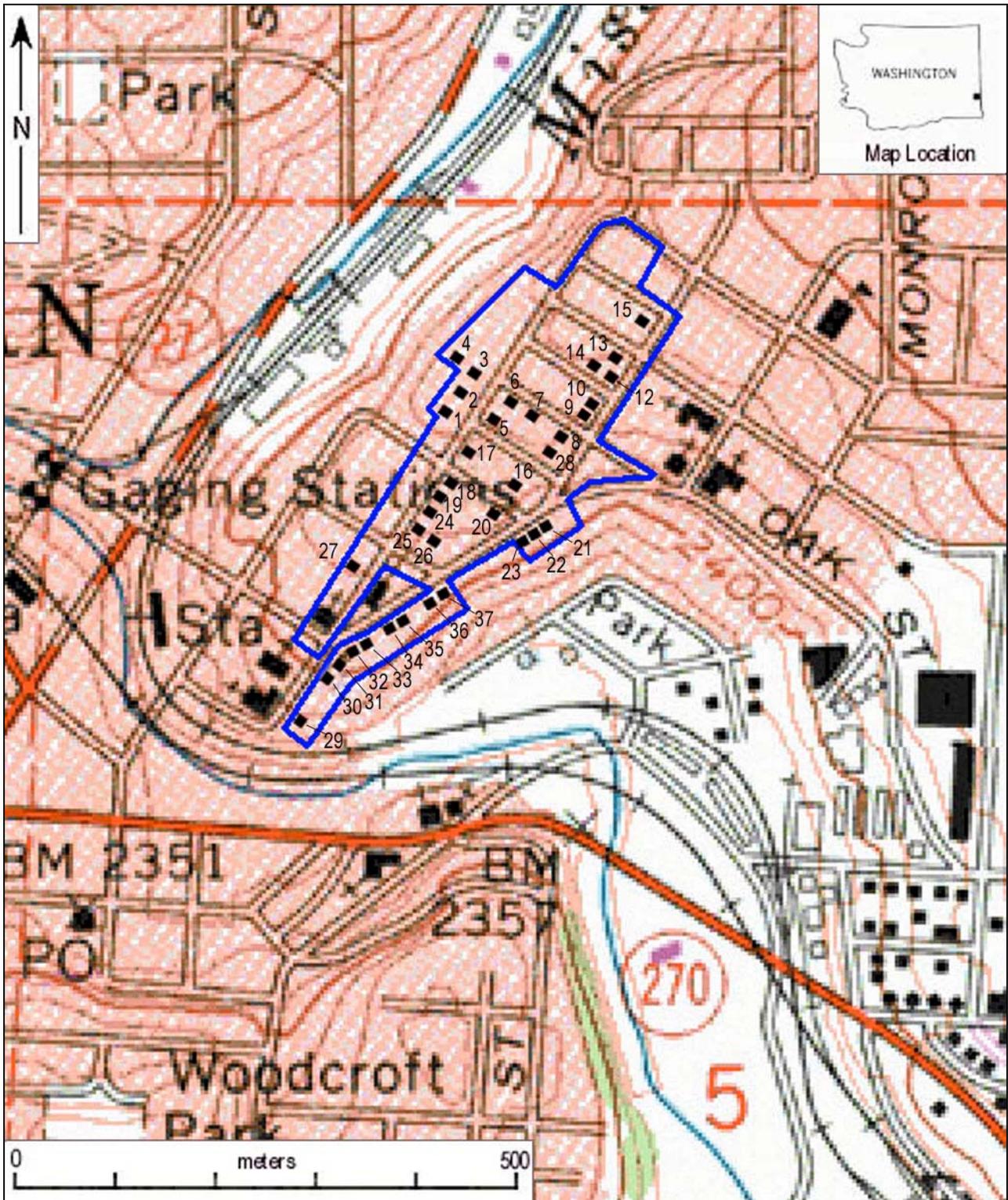


Figure 13. Map showing locations of historic buildings recorded as part of the Maple Street Inventory Project (USGS Pullman Quadrangle, 1:24,000, 1964/1975). Numerals indicate the building numbers assigned during fieldwork for easy referencing of inventoried buildings.

We recorded buildings systematically beginning on Maple Street. Before beginning field recording, we notified building occupants (when home) of our presence and the nature of our work for the City of Pullman. We photographed each elevation; took three-quarter view photos; detail photos of windows, doors, and other important features; and selected streetscape photographs. Architectural historians Dulce Kersting and Robert Franklin completed the field descriptions of each elevation with thorough checks for completeness and accuracy by Dr. Robert McCoy. We had access to all building exteriors, but not building interiors.

After completing field survey, we conducted research at the Washington State University Library (especially MASC), the Whitman County Historic Society Archives, and City of Pullman Neill Public Library.

Survey Results

We recorded 36 historic properties in the inventory area. During fieldwork, We assigned two building numbers, 10 and 11, to a detached garage and connected apartment building at 450 Oak Street and recorded them as two separate properties. Our intent was to record each residential building as a separate property because of the high density of such buildings on College Hill, often with more than one residence on one lot. We later decided that these two outbuildings were connected and because only one was a residence, we combined them into one property. Seven properties include detached garages that are part of the original historic property. Therefore we recorded the houses and associated garages as part of the same historic property. Whitman County tax parcel numbers and the plat/block/lot information for each property are summarized in Table 5.

Architectural styles represented by the inventories properties include Arts and Crafts (Craftsman and Rustic), Beaux Arts (American Renaissance and Classical Revival), Colonial Revival, Late Gothic Revival, Modern (International and Minimal Traditional), Queen Anne–Cottage, Tudor (Composite and Elizabethan), and Vernacular (Table 6). Craftsman is the most common architectural style (n = 14) recorded within the survey area, followed by Colonial Revival (n = 6). Together, these two styles account for over one-half of the inventoried buildings. A summary of architectural styles and the building inventory numbers included in each style is provided in Table 6. The addresses of each building are listed by building number in Table 5.

Architectural Descriptions

Below we provide detailed narratives of architectural elements and changes through time in each of the inventoried buildings. We organize the descriptions by street, beginning in the northern part of the inventory area with the northwest-southeast running streets, then with the Northeast-Southwest running streets of Opal, Maiden Lane, and Maple.

Campus Street Building Descriptions

There are three buildings on Campus Street that are included in the inventory, with owners of the remaining building opting out of the survey. Overviews of Campus Street are in Figure 15.

445 Campus Street (Building 14)

This is one-story, Vernacular multiple-family dwelling on the south side of Campus Street, two lots west of Opal Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Though it has a Campus Street address, the building is located adjacent to the alley at the back of the lot. A garage was at the location of the present dwelling in the back of the lot on the 1929 Sanborn map. The garage in the back of the lot was removed sometime before construction of the current building, which according to Whitman County assessor records was in 1937.

Table 5. Historic Buildings Recorded Within the Maple Street Project Survey Area.

Building Number	Address	Tax Parcel	Plat	Block	Lot
1	615 Maple St.	112350006030001	Reaney's 2nd Addition	6	1
2	625 Maple St.	112350006080002	Reaney's 2nd Addition	6	8 (S 1/2)
3	635 Maple St.	112350006080001	Reaney's 2nd Addition	6	8 (N 1/2)
4	635 Maple St.	112350006080001	Reaney's 2nd Addition	6	6
5	620 Maple St.	112350005070000	Reaney's 2nd Addition	5	7 (S 1/2)
6	405 Oak St.	112350005080000	Reaney's 2nd Addition	5	7-8 (N 1/2)
7	415 Oak St.	112350005090000	Reaney's 2nd Addition	5	9
8	635 Opal St.	112350005120002	Reaney's 2nd Addition	5	12 (N 1/2)
9	450 Oak St.	112350008010000	Reaney's 2nd Addition	8	1 (S 1/2)
10	450 Oak St.	112350008010000	Reaney's 2nd Addition	8	1 (N 1/2)
12	675 Opal St.	112350008120000	Reaney's 2nd Addition	8	12 (S 1/2)
13	455 Campus St.	112350008120000	Reaney's 2nd Addition	8	12 (N 1/2)
14	445 Campus St.	112350008110000	Reaney's 2nd Addition	8	11 (S 1/2)
15	450 Campus St.	112350015010001	Reaney's 2nd Addition	15	1 (S 1/2)
16	440 Ash St.	112350005020000	Reaney's 2nd Addition	5	2
17	400 Ash St.	112350005060000	Reaney's 2nd Addition	5	5-6
18	530 Maple St.	112350004050001	Reaney's 2nd Addition	4	4 (N 1/2)
19	520 Maple St.	112350004050002	Reaney's 2nd Addition	4	4 (S 1/2)
20	535 Maiden Ln.	112350004070000	Reaney's 2nd Addition	4	7-8
21	550 Maiden Ln.	112300006040002	Reaney's 1st Addition	6	4
22	540 Maiden Ln.	112300006050004	Reaney's 1st Addition	6	5
23	530 Maiden Ln.	112300006050006	Reaney's 1st Addition	6	6
24	510 Maple St.	112350004030001	Reaney's 2nd Addition	4	3 (N 1/2)
25	500 Maple St.	112350004030002	Reaney's 2nd Addition	4	3 (S 1/2)
26	410 Spaulding St.	112350004020002	Reaney's 2nd Addition	4	2
27	435 Maple St.	112350002020003	Pullman Original Plat	34	1
28	625 Opal St.	112350005120001	Reaney's 2nd Addition	5	12 (S 1/2)
29	300 Maple St.	108150031060000	Pullman Original Plat	31	6
30	330 Maple St.	108150031030000	Pullman Original Plat	31	3
31	340 Maple St.	108150031020000	Pullman Original Plat	31	1-2
32	400 Maiden Ln.	112400001110002	Reaney's 3rd Addition	6	11
33	410 Maiden Ln.	112400001110001	Reaney's 3rd Addition	6	11
34	430 Maiden Ln.	112400001090000	Reaney's 3rd Addition	6	9
35	440 Maiden Ln.	112400001080000	Reaney's 3rd Addition	6	8
36	460 Maiden Ln.	112300006130001	Reaney's 1st Addition	6	13
37	470 Maiden Ln.	112300006120001	Reaney's 1st Addition	6	12



a



b

Figure 15. Street views of the 400 block of Campus Street: (a) the northeast side of the street, view azimuth 300°; (b) the southwest side of the street, view to azimuth 350°.

Table 6. Summary of Architectural Styles Recorded Within Maple Street Survey Area.

Architectural Style	Total	Building No.
Arts and Crafts – Craftsman	14	1, 3, 4, 7, 9, 10, 13, 16, 21, 22, 25, 28, 29, 34
Colonial Revival	6	2, 27, 30, 32, 35, 36
Tudor – Composite	3	19, 33, 37
Beaux Arts – Classical Revival	2	8, 12
Modern – General	2	18, 20
Modern – Minimal Traditional	2	15, 24
Arts and Crafts – Rustic/National Park	1	23
Beaux Arts – American Renaissance	1	6
Gothic – Late Gothic Revival	1	17
Modern – International	1	31
Queen Anne – Cottage	1	5
Tudor – Elizabethan	1	26
Vernacular	1	14
Total	36	

The City of Pullman has no permitting file for this address, which suggests it was either misplaced, lost, destroyed, or perhaps never obtained. On the 1949 Sanborn map, the building is shown in the western corner of the same large lot that includes the main residence at 455 Campus (Building 13). Thus, this small dwelling was built on the same large corner lot as the already existing home at 455 Campus, explaining its present location in the back of the lot.

The building contains two small rental apartments above a four-vehicle garage and appears to have been built as a duplex, in concordance with the Sanborn map. The building is located on the south half of Lot 11 on Block 8 in Reaney's Second Addition (Whitman County tax parcel 112350008110000). It is currently owned by the Wallace Trust of Pullman. The address before 1972 was 309 Campus Street.

The building has a rectangular ground plan that covers 800 square feet. It has a side-facing gable roof, with the front (northeast) slope extending farther than the rear slope and at an angle that creates a bell-cast shape (Figure 16). The slope is projected so that it can cover the elevated walkway to the apartment entrances. The roof is covered with composite shingles. The building is clad in clapboard and the foundation is made of poured concrete. There is a single chimney made of stretcher bond masonry in the center of the gable.

The northeast elevation features side-facing wood stairs and railing that lead to the living quarters above the garage. A wooden walkway runs along the length of the elevation and provides access to the second apartment in the western half of the building. The projected roof eave is boxed and features simple horizontal wood planking on the underside, and it is supported by simple wood beams. The elevated walkway forms a porch that is partially enclosed with wood lattice work. The eastern half of the northeast elevation on the apartment level features a large horizontal sliding window, a single-leaf door with a large light in the top half, and a single-hung window. This pattern is then repeated in reverse order for the apartment in the western half of the building.

The northwest elevation features only a small vent under the open gable, which has closed eaves. The southwest elevation features four equally-spaced single-car garage spaces with replacement doors that open upwards. The doors are made of simple plywood. The apartment level on the elevation features two single-sash windows, one on either end, which appear to open on vertical

hinges. In the middle are openings for smaller windows, but the openings are boarded up. The southeast elevation is similar to the northwest elevation with only a vent beneath the gable.

The original ground plan of the building has not been altered, but there are slight changes to the original cladding. More significantly, there have been extensive replacements of the original roof, windows, and doors. Furthermore, the building had no significant architectural design or characteristics. Therefore, we recommend the building is not eligible for listing on the National Register of Historic Places.



Figure 16. 445 Campus Street, three-quarter view, view to azimuth 260°.

450 Campus Street/705 Opal Street (Building 15)

This is a two-story Modern-Minimal Traditional duplex with an attached single car garage built in 1946. It is on the northwest corner of Campus and Opal streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The two entrances to the duplex face different streets and have different street addresses. The address of the apartment with the entry on the southwest elevation is 450 Campus Street. The address of the apartment with the entry is on the southeast elevation is 705 Opal. The house is on the south half of Lot 1 on Block 15 in Reaney's Second Addition (Whitman County tax parcel 112350015010001). It is currently owned by Cory and Desa Duskin of Arlington, Washington. The addresses before 1972 were 310 Campus Street and 1601 Opal Street. It was built in 1946, replacing a boarding house that was previously at this location.

The house has an irregular ground plan that covers 2,370 square feet. It appears to have been built as a duplex. This is also indicated by the designation "F" on the Sanborn map, meaning the building was a flat with single family occupancy per floor. The house features a medium pitched front-facing gable. Between the first and second stories, on the southeast and northwest elevations,

there also is a narrow side-sloping shed roof that extends over the slightly larger first story. The roof is covered with composite shingles and has an added gutter system. The shingles appear to be recent. A chimney made of stretcher bond masonry is in the center of the building (Figure 17).

The first story is clad in stretcher bonded brick veneer while the second story is clad in wood shingles. The foundation is made of poured concrete. Poured concrete retaining walls mark the edges of the elevated yard along Campus and Opal streets. A wooden fence partially wraps around the lawn on the southeast side of the building.

The southwest elevation features an enclosed entryway projected off the center of the first story (Figure 17b). A poured concrete stoop and sidewalk lead up to the entry from Campus Street. The doorway is offset left of center and features a single-leaf door with four lights in the top and four panels on the bottom. A gabled hood sticks out over the door and a single light is affixed to the underside of this hood. To the left of the enclosed entryway is a horizontal sliding window and to the right is a three-sash window. All windows in the first story have headers and sills made of vertically bonded bricks, as are the headers over the doors. The second story of this elevation has two single-hung windows recessed slightly into the cladding, and they are surrounded by very narrow wood trim. A small vent sits under the gable opening.

The southeast elevation features the entrance to the second apartment, which is a projected enclosure identical to entryway on the southwest elevation (Figure 17a). In the foundation of this elevation are two single-sash windows with six lights each. The first story has a large three-sash window to the left of the projected entryway. To the right of the entryway is a single-hung window and a horizontal sliding window. A single car garage is attached to the northern end of this elevation. The garage has a flat roof and is made of clay bricks that are slightly larger than those used to clad the house. The corners of the garage, however, are detailed with the cladding brick. The second story of the southeast elevation has three single-hung windows with simple wood trim.

The northeast elevation has two small single-hung windows in the first story. A single-leaf door is located to the right of the windows, at the corner of the building. A shed roof hood with simple wood brackets overhangs the door which opens onto a poured concrete pad. Also on this elevation, in the northwest-facing side of the attached garage, is a steel door for a coal chute. The second story has two single-hung windows recessed into the cladding, one on each end of the elevation. In the middle there is a replacement single-hung window that is placed in an opening designed for a larger window. The smaller replacement window is set into a wood surround that is sized to the original opening. There also is a horizontal sliding window that appears to be original. A small attic vent is under the open end of the gable.

The northwest elevation features a horizontal sliding window, a single-hung window, and a large three-sash window in the first story. The second story has three single-hung windows with simple wood trim.

While the doors of the building appear to be largely unchanged, the majority of the windows have been replaced. A building permit for “alteration of piping” was issued to the owner Chaplin in 1956, however we found no other records of alterations or modifications in the City permitting files. The building has no significant architectural design or characteristics and the windows are replacements. Therefore, we recommend the building is not eligible for listing on the National Register of Historic Places.



a



b

Figure 17. 450 Campus Street: (a) southeast elevation, view to azimuth 300°; (b) three-quarter view of the northwest and southwest elevations, view to azimuth 80°.

455 Campus Street (Building 13)

This is a two-story Arts and Crafts – Craftsman located at the southwest corner of Campus and Opal streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally a single-family dwelling, the house is now divided into three rental apartments. The house is located on the north half of Lot 12 on Block 8 in Reaney's Second Addition (Whitman County tax parcel 112350008120000). It is currently owned by the Wallace Trust of Pullman. The original address of this house was 311 Montgomery Street. This was changed to 311 Campus Street in the 1920s and then finally 455 Campus in 1972.

The house was built in 1908 and has been occupied by several prominent Pullman residents. The original occupant, Reverend Willard H. Roots, also appears to have built the house. Rev. Roots was the popular rector of nearby St. James Episcopal Church (located at the corner of Oak and Ruby streets two blocks away). In April 1908, Rev. Roots married Katherine Philp while he was in the process of building the house. On 25 April 1908, the *Pullman Herald* reported that upon returning from their honeymoon, the newlyweds would "be at home in the residence recently constructed by Mr. Roots on College hill." Moving in, however, took somewhat longer as indicated in a brief note printed in the 3 July 1908 *Pullman Herald*: "Rev. Willard H. Roots and wife expect to be in their new home at 311 Montgomery and Opal, on Faculty hill, within two weeks. Some painting and tinning is yet to be done before the house is ready for occupancy." The Roots lived in the house less than a year, for in May 1909, the Reverend transferred to Hailey, Idaho. On 7 May 1909, the *Pullman Herald* announced his resignation and noted that "his fine home on College Hill will be for sale or rent."

The next person of local, as well as national, importance to occupy the house was R. W. Thatcher, who owned the house until 1913. Thatcher was hired as a State College of Washington (SCW) experiment station chemist in 1901 and in that capacity wrote numerous bulletins on such topics as wheat grades and egg preservation. From 1905 to 1907, he was assistant professor of agricultural chemistry at SCW. He was named associate professor in 1907. In 1909, he became acting director of the Farmer's Institute (which ran "demonstration trains" throughout the state). In 1910, he was named professor and head of the Department of Agriculture. Thatcher resigned from SCW in 1913 to accept an appointment as professor of plant chemistry and chief of the division of agricultural biochemistry at the University of Minnesota. He was assistant director of the Minnesota experiment station when appointed Dean of the Agriculture Department. He was a fellow of the American Association for the Advancement of Science and in 1912 he was elected president of the American Society of Agronomy. In 1919–1920, he was president of the Society for the Promotion of Agricultural Science.

Thatcher became politically active in 1906 as a founding member of the Law Enforcement Party, whose primary concern with the "gross violation of City laws" and began writing articles in favor of closing all local saloons. In 1911, he summarized the findings of the Chamber of Commerce improvement committee, advocating a paved route from the business district to the college (*Pullman Herald*, 3 February 1911). This effort ultimately culminated in the construction of the red brick roads at the south end of Star Route (Maple Street) and Palouse Street two years later.

Thatcher's resignation from SCW was not accepted graciously. Several groups with which he was involved passed resolutions asking him to reconsider leaving, and there was talk of the college administration being investigated for declining enrollment and the loss of this eminent faculty member. Thatcher placed an advertisement in the 21 March 1913 *Pullman Herald* announcing that the house and two lots were being "offered at a bargain for cash, or will make terms." On 8 May 1913, Thatcher and his wife sold the house and "lots 11, 12, blk 8, Reaney's 2nd add" to Rebecca

Tapp for \$5,000 (*Pullman Herald*, 16 May 1913). Tapp then rented the house to the new head of the SCW Department of Agriculture, George W. Severance. Professor Severance served as a faculty member for 28 years during which time he served several administrative posts including the head of the Department of Agriculture and Vice Dean of the College of Agriculture.

A telephone listing printed in the 15 December 1916 Pullman Herald indicates that F. C. Forrest was renting the house from Rebecca Tapp at that time. Forrest is listed as a cashier for the Farmers State Bank of Pullman at the time of their merger with the First National Bank of Pullman in 1915 (Youngman 1915:813). Forrest continued as cashier with the First National Bank and later served on the Board of Directors for the Friends of the Library of the State College of Washington.

On 11 September 1919, Tapp sold the house and two lots to James S. Klemgard for \$5,400 (*Pullman Herald*, 19 September 1919). Klemgard (1865–1931) was one of the earliest successful wheat growers on the Palouse, arriving as a lad of 17 years with his parents who had staked a homestead seven miles southwest of Pullman in 1882. In 1889, he began his own farm on land adjacent to his father's property. Klemgard eventually became one of the most extensive property owners in the Pullman area as well as a significant stockholder in the Pullman State Bank. He retired from active farming in 1909, but remained active in the civic life of the Pullman community (*Pullman Herald*, 9 July 1915). Klemgard served on a committee chaired by former house owner R. W. Thatcher that was appointed to investigate means of eradicating wheat fungus (*Colfax Gazette*, 6 October 1911). In 1918, Klemgard was appointed overseer and acting master of the state grange (*Pullman Herald*, 3 January 1918). Little information has been found regarding the house after Klemgard purchased it. It appears to have remained a rental property since Klemgard continued to reside on his farm southwest of town. The Washington State College Campus Directory lists Frederick W. Welch (Assistant Professor of Civil Engineering) as a resident here in 1926. The owner during the 1950s was Fred Welch. By 1965, the house was owned by William C. Parrish. A letter from the State of Washington Division of Professional Licensing suggests that Parrish used the house as a real estate office.

The house has a square ground plan that covers 1,719 square feet. It features a cross gable roof of composite shingles, with the northeast end of the front-facing gable shorter than the southwest end (Figure 18). This allows the northeast slope of the side-facing gable to extend down to the first level of the building. The eaves are projecting and the rafters are exposed. The first story is clad in clapboard, which is not original, and the second level is clad in wood shingles. The foundation is made of poured concrete but is finished with stucco.

The façade (northeast elevation) faces Campus Street and features a partially enclosed porch on the left side which wraps around to the right side of the southeast elevation (Figure 18a). The floor of the porch is made of simple wood planking, and the area is enclosed by a half-wall. The porch appears to have had decorative windows and screens. A few glass panels remain, but most of the material has been removed whereas the mullions remain. The roof over the porch is supported by modestly decorated pillars. At the base of the half wall, where it meets the porch floor, there are vents for circulation of air. Above the entry to the porch is a small gabled header. Beneath the porch roof is a large single-hung window with the top sash slightly smaller than the bottom. All windows in the first and second stories have simple wood trim and sills. Facing southeast is a single-leaf door that opens into the house, and to the right of the porch entry are two single-sash windows. On the upper story there is a small single-leaf door with original screen door that opens onto an upper balcony that is created by the extension of the northeast slope of the roof. On either side of the door is a single-hung window with eight lights on top. There is a vent under the open gable and gutters have been added.



a



b

Figure 18. 455 Campus Street: (a) northeast elevation, view to azimuth 210°; (b) southeast elevations, view to azimuth 300°.

The northwest elevation has two single-hung windows in the foundation, one smaller than the other, and each with six lights in the top sash. All windows in the foundation have minimal trim as they are inset into the concrete. The first story has a single-sash window and three single-hung windows with six lights in the top sash. One window appears to originally have been a single-hung window, but the bottom sash has been replaced with wood. The upper story has a single-hung window with six lights in the top sash and a single-sash window.

The southwest elevation features an original single-leaf door in the foundation level with three panels on the bottom and a light in the top. A poured concrete sidewalk leads to a concrete pad in front of the door. Directly to the right of the door is a three-sash window. Also in the foundation are a small single-sash window and a single-hung window with six lights in the top sash. The first story has a mostly enclosed entryway that is projected from the primary building. This appears to be an addition. The projected entryway extends out over the foundation level door and is supported by simple wood pillars. Side-facing wood stairs lead up to the first level entrance, which is clad in simple vertical wood planking. The addition has a partial hip roof, with the southeast edge of the roofline ending abruptly. There is horizontal sliding window in the addition; the doorway is open and faces southeast. To the right, on the first level, are a small horizontal sliding window and a pair of single-hung windows, each with six lights in the top sashes, that are separated by a wood mullion. The left window is slightly larger than the right. The upper story has two single-hung windows with nine lights in the top sashes.

The southeast elevation, which faces Opal Street, has a single-hung window with six lights in the top sash and a horizontal sliding window in the foundation (Figure 18b). The foundation beneath the porch, on the right end of the elevation, is open but is fronted by wood lattice work that is significantly damaged. The first story features a pair of single-hung windows with six lights in the top sashes. The windows are separated by a wood mullion, and the left window is slightly smaller than the right. There also is a single-sash window just to the left of the porch. Under the porch roof on this elevation there is a replacement single-leaf door facing the northeast. Centered under the gable on the second story is a single-hung window with six lights in the top sash. To the left and slightly below this window is a single-hung window with eight lights in the top sash. This window provides light to the interior stairway that leads to the upstairs apartment.

The house has been significantly altered since it was built in 1908. Although the original ground plan has only changed slightly with the addition to the rear, but there are extensive changes to the cladding, windows, and doors. Nearly all of the original windows and doors have been replaced. In 1953, a building permit was issued to owner Fred Welch for “boxing off corners of basement.” The house was re-roofed in 2009–2010. Therefore, we recommend the house is not eligible for listing on the National Register under Criterion C (Design, Construction, and Work of a Master).

The building was owned and occupied by several prominent faculty members who made contributions to local history. Therefore, we recommend the house is eligible for listing on the National Register under Criterion B (Important Persons).

Oak Street Building Descriptions

The inventoried buildings on Oak Street include a large apartment block, two houses, and a detached apartment.

405 Oak Street, Roth/Elmhurst Apartments (Building 6)

This is a three-story Beaux Arts-American Renaissance Apartment Block located at the southeast corner of Maple and Oak streets (NW¹/₄ NE¹/₄ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The apartment building is located on the north half of Lots 7 and 8 of Block

5 in Reaney's Second Addition (Whitman County tax parcel 112350005080000). It is currently owned by the Wallace Trust. The address prior to 1972 was 301 Oak Street.

Although the building is known as the Elmhurst Apartments, it was first called the Roth Apartments after original owner and builder Frank V. Roth. The name was changed to Elmhurst during the mid-1920s (Luedeking 2010:69). Construction of the apartment building began in July 1920 and was in response to a housing shortage, which had become critical. An article printed in the *Pullman Herald* describes the undertaking:

Work was started this week on a large apartment house on Oak and Star Route streets, to be constructed by Frank V. Roth on lots recently purchased from Mrs. W. G. M. Hayes. The building will be 60 x 100 feet, of two stories, with a full basement, and will be of brick construction. The plans, which are not yet completed, will call for a building of approximately 14 apartments of three and five rooms each. Built-in features will be provided, with an electric range in each apartment. The entire building will be heated by a hot water system. The cost of the building is estimated at \$45,000, the lot costing Mr. Roth \$1,500. Excavation work was started this week by Mr. Roth and the building will be ready for occupancy by October 1 (*Pullman Herald*, 16 July 1920).

Another article appearing in the *Pullman Herald* two weeks later indicates there was a design change following the 16 July article:

Work was started Monday of this week on the big apartment house to be constructed by Frank V. Roth and will be rushed to completion to take care of the fall rush for houses. The new apartment house, under the plans prepared by Architect William Swain and accepted by Mr. Roth, will make provision for housing 20 families. The structure will be erected at the corner of Oak and Star Route streets, claimed by experts to be one of the best locations in the city for the purpose. The new building will be 60 x 100 feet, of three stories. It will include 11 five-room apartments, six apartments of four rooms and three three-room apartments. The five-room apartments will include two bedrooms, dining room, living room and kitchen, and all the apartments will have bath room facilities. The first and second floors will be given over entirely to the four and five room apartments. Each of the flats will have a buffet kitchen and all modern built-in features, with steam heat throughout. The basement will be utilized for boiler and fuel rooms, drying room, laundry and store rooms (*Pullman Herald*, 30 July 1920).

Despite the ambitious claims to have the apartment building ready by the Fall of 1920, the building was not ready for tenants until August 1921. When it did open, the apartments were in high demand as every apartment was rented and 49 additional families were placed on a waiting list. The five-room apartments rented for \$67.50 per month while the four-room apartments were \$55 per month (*Pullman Herald*, 5 August 1921). Table 7 includes a sample of residents identified from the Washington State College campus directories for the years 1926, 1932, and 1942. As can be seen from the list, the apartment building has served as home for an assortment of faculty and college administrative staff.

The building has U-shaped ground plan covering approximately 11,328 square feet. A narrow, recessed entryway is located at the front of the building. The foundation is stretcher-bond brick with a cement plinth and a poured concrete sidewalk leads into a u-shaped courtyard. The roof is of unknown composition and is flat with a stucco parapet, decorative entablature and a frieze. The roof also has three skylights that are arrayed in a u-shaped pattern similar to the building. The walls are stretcher bond brick that is uninterrupted to roof (Figure 19).

Table 7. Some Residents of the Elmhurst Apartments, 1926–1942.

Tenant	Position at Washington State College
1926	
Hannah Aase	Professor of Botany
Harold Culver	Head of Department of Geology (1925-1950)
Mary A. Elliott	Instructor of Institutional Management
Harold H. Logan	Instructor of Piano
Joseph R. Neller	Associate Chemist Experimental Station
Robert U. Nelson	Music Theory
Sofus B. Nelson	Dean and Director of Extension Service
W. H. Orion	Instructor of Physical Education
Lusinn Barakian Robinson	Director of Chorus
1932	
Robert W. Cahr	Assistant Professor of Fine Arts
Anne M. Corcoran	Instructor in Commercial Education
Hal M. Gwinn	Secretary, Placement
Bryan Halter	First Lieutenant, Infantry, U.S. Army
Lois Holderbaum	Extension Specialist
Margaret Ann Linean	Instructor in Secretarial Science
Harold H. Logan	Instructor in Piano
Charles C. Loughlin	Captain, Infantry, U.S. Army
Ione Margaret Mack	Secretary, YMCA
Mabel Marie Madsen	Assistant to the Dean of Women
Ernest C. McCulloch	Associate Professor of Bacteriology and Parasitology
Paul C. McGrew	Agricultural Engineer
Harold I. Mizony	Sargent, U.S. Army
Herbert T. Norris	Assistant Professor of Public School Music
Rae Russell	Extension Nutritionist
William A. Schildroth	First Lieutenant, Infantry, U.S. Army
Helen G. Smith	Head, Department of Physical Education For Women
L. J. Smith	Head, Department of Agricultural Engineering
Evelyn Sparlin	Clerk, Radio Department
Julian Winifred	Instructor In French
1942	
Anne M. Corcoran	Instructor In Commercial Education
Lucile F. Dauner	Assistant Professor of Textiles and Clothing
Louise B. Gass	Associate Professor of Chemistry
Helen L. Hanson	Instructor in Foods and Nutrition
Winifried Julian	Instructor in French
Martha Lowery	Extension Specialist in Clothing
Jennie A. McIntosh	Assistant Professor of Home Economics
Helen G. Smith	Head, Dept. of Physical Education for Women
Irene Whittock	Clerk, Bursor's Office
Margaret Whittock	Clerk, Bursor's Office
Ethelwyn B. Wilcox	Assistant Professor of Home Economics



a



b

Figure 19. The Elmhurst Apartments, 405 Oak Street: (a) three-quarter view of the northeast and northwest elevations, view to azimuth 160°; (b) detail of the entryway, view to azimuth 215°.

The façade is the northeast elevation and faces Oak Street (Figure 19a). At the center of this elevation, there is a decorative flat archway with recessed panels along with brick detail and the name “ELMHURST” in metal letters (Figure 19b). The u-shaped courtyard has bull-nosed corners and each of the three stories has two pairs of two double-hung windows and two single double-hung windows, all with plain trim and brick slip sill. The courtyard has an original metal light fixture above the door. Below this is a brick flat-arch vertical joint that frames a double-leaf door with plain trim with diamond pane details on the bottom and a single-sash on top. The second and third stories of the courtyard have fire escape doors that are single leaf with two panels on the bottom and a single light on top with original brass hardware. The third-story door also has original brass hardware. The original fire escape is located in the courtyard.

Outside of the courtyard the two halves of the northeast elevation are symmetrical except for a double-leaf door with six-light single-sash windows above the transom at the east corner of the building. Each leaf has a panel on bottom with four lights on top which is at the east corner. The hardware is original and there is a simple brick detail around the door. The first story has three pairs of two single-hung windows with a top sash of six lights, wood mullion, plain wood trim and a flat arch vertical joint head, and three single windows with the aforementioned features. The second and third stories have four pairs of double windows and five single, respectively.

The first story of the northwest elevation has two pairs of two windows in the center with a single window to the left and a pair of single windows to the right (Figure 19a). This pattern is repeated for the second and third stories for 21 windows total in the northwest elevation. The windows in this elevation are identical to those on the northeast elevation.

The southwest elevation has twelve pairs of windows (four on each story) that are identical to the windows in the previously described elevations except they have no header or surround. In the center of the elevation where the courtyard is on the northeast elevation, there are three double pairs that are missing the original mullion but have cement header and cement slip sill. At the foundation level, there are openings for four small pairs of horizontal sliding windows but only one still has a glass window present. This also is a larger opening for a pair of horizontal sliding windows. None of the horizontally sliding windows have a header or concrete sill. The roofline of this elevation has no frieze, but has a stucco and sheet metal parapet. A stucco chimney is present at the center of the elevation.

The southeast elevation at foundation level has three openings for horizontal sliding windows, but the glass is removed. The windows on each story are similar to those of the northwest elevation, but have no headers or concrete slip sill and are arranged in a pattern of one two-sash and three single-sash on each story for a total of three two-sash and nine single-sash.

This apartment building retains much of its architectural integrity. The ground plan and original brick cladding are intact. Many of the exterior doors are intact, however there have been extensive changes to the windows. The majority of windows in the building are replacements and many of the surrounds have been altered. City of Pullman records include permits for work on the building’s plumbing (1970) and electrical wiring (1977), and new roofs in 1972 and 1981. Thus, the roof and windows are not original. Therefore, we recommend that the building is not eligible for listing on National Register under Criterion C (Design, Construction, and Work of a Master).

415 Oak Street (Building 7)

This is a single-story Arts and Crafts – Craftsman built in 1914. It is on the south side of Oak Street, three lots east of Maple Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is located on Lot 9 of Block 5 in Reaney’s Second

Addition (Whitman County tax parcel 112350005090000) and is owned by the Wallace Trust. The address before 1972 was 303 Oak Street.

Washington State College campus directories identify two occupants of the house during the 1930s and 1940s. Edna L. McKee (Instructor in Public School Music) is listed as occupant in 1932, while Marian H. Anderson (Stenographer, Extension Service) is listed as occupant in 1942. During the second half of the twentieth century, the ownership history of this house mirrors that of the adjacent Elmhurst Apartment building. Both buildings were owned by Ray Scott and Robert Wallace, and both buildings are currently owned by the Wallace Trust and managed by Helene's Property Place.

This single-family bungalow has a rectangular ground plan that covers 1,549 square feet. The poured concrete foundation is covered by wood shingle. The roof is a medium hip and is covered in asphalt composite shingles. The walls are covered in wood shingle and the cladding is broken by a line about two feet above the first floor level with a wood shingle skirt. There is a poured concrete chimney on the southwest elevation that is offset on the rear slope of roof.

The northeast elevation is the primary elevation and faces Oak Street. It features an open porch that wraps around to the southeast elevation. A poured concrete walk leads to wooden steps. The porch is made of flush vertical wood planking and has a low hip roof with low gable over the northeast entrance with projecting eaves and rafters exposed. The projected gable over the entryway is bracketed and has a simple detail in the gable. The porch has openings for windows but the glass is removed. There are muntins on the northeast elevation and two drainage/vent breaks in slant below the window openings. The front door appears original and is a single leaf with fifteen lights and some of the original hardware. To the right of the porch is a single-hung window with six top lights, simple decorated lintel, and no slip sill. The original wooden screen remains. To the left of the front door, above the porch, is a similar window but without screen.

The northwest elevation at foundation level has two single-sash windows and a sump with a poured concrete retaining wall and metal headboard railing. The first story at the north end has a single-sash four-light window with simply decorated lintel and plain slip sill. The center has a pair of single-hung windows with the top sash having six lights, wood mullion, simply decorated lintel, and a slip sill that forms a break on the wooden skirt. The southern end has two windows that are the same as the north end. There is also a water spigot and vent coming out of the skirt on this elevation.

The southwest elevation has a covered porch with a low-hip roof and horizontal ceiling planking which is all wood and enters the ground level. The porch has replacement straight-facing wooden stairs, plain flushes planking, and a plain single-leaf door that is not original. The porch was previously enclosed; the bottom is surrounded by wood lattice. The foundation level has an entry with poured concrete stairs and a plain replacement door. The first story at the west end has a single-sash six-light window with plain trim and sill. To the right of the porch there is a single-sash window with five top lights.

The southeast elevation at the foundation level has an uneven two-sash window with the right sash two-thirds and the left one-third. The left is an opaque orange color. There also is a single-sash opening with a screen covering but no window. The first story at the south end has a pair of single-hung windows with six top lights in each and simply decorated lintel. The sill on the windows meets the break in cladding on the skirt. In the middle is a large single-hung window flanked by smaller single-hung window with six lights on each; all have mullions. The wraparound porch has two large opening with muntins and the mullion separates the openings. A drainage vent is below each window opening.



a



b

Figure 20. 415 Oak Street: (a) the northeast, primary elevation, view to azimuth 210°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 5°.

Although the house retains its original cladding, other aspects of the buildings have been altered. These include a slight change to the ground plan and replacement of most of the original windows and doors. Gutters have also been added. Permits for plumbing work and a sewer tap were issued in 1968 and 1985, respectively, and a new roof was installed in 2004–2005. Therefore, we recommend that this building is not eligible for listing on the National Register under Criterion C.

450 Oak Street, Main House (Building 9)

This is a one-and-one-half-story Arts and Crafts – Craftsman built in 1913. It is located at the northwest corner of Oak and Opal streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally a single-family dwelling in 1913, the house is now divided into six rental apartments. The house is on the south half of Lot 1 of Block 8 in Reaney's Second Addition (Whitman County tax parcel 112350005060000). It is currently owned by Horizon Realty Associates (HRA) Cougs LLC. The address prior to 1972 was 310 Oak Street.

One of the early residents of the house was F. A. Thomson, Head of the Department of Mining Engineering at Washington State College. The campus directory indicates Thomson lived here in 1917. By 1919, he was Dean of the School of Mines at the University of Idaho in Moscow.

The house has an irregular ground plan that covers 1,898 square feet. The roof is a hip on front facing gable with projecting eaves and rafters exposed. It is covered with asphalt composite shingles. There is a center located chimney with stretcher bond brick and six added vents on roof. The walls are primarily wood shingle with a stucco and wood detail under the gable. The foundation is dressed basalt.

The southwest elevation is the primary elevation and faces Oak Street. Four mature deciduous trees front the property and a poured concrete walkway and stairs lead to an enclosed front porch. The porch is supported by cinder blocks and is partially clad with vertical paneling. Horizontal two-sash windows flank the single-leaf 15-light porch door. Inside the enclosed porch is the original front door to the home, which is a single-leaf four-light with a sash and wood detail. The original brass knocker is still present. At the foundation level are two single-sash windows, the first story has nine large single-hung windows with 18 lights, and the half-story has three single-sash with six light windows. Poured concrete stairs also lead down to a basement apartment, which City permitting records indicate was added during the 1970s. The foundation also has a new single-sash window, and a single-hung window with three lights that is covered by a storm window. Above this is a single-hung window with plain trim with a wooden slip sill supported by four consoles.

The southeast elevation at the south end foundation level has a single-hung window with wood surround. The middle part of the foundation has a recessed window, a single-hung window, and one sash with three original lights. The first story has two single-hung windows (one original with six lights and one replacement with six top and six bottom lights) and one horizontal two-sash window. All windows have plain wood trim. There is also a disruption in the center of the wall that appears to be a covered window with added horizontal plain planking and two vents. At the half-story level is a dormer with a front-facing gable with eaves projected and rafters exposed. There is stucco and wood detail under the gable and a single-sash ten-light window with plain surround. At the northern end of the elevation, there is an enclosed porch supported by a poured concrete foundation with new wooden stairs and a replacement screen door. The porch has two large windows with four lights fronting the original four single-sash fifteen-light windows.



a



b

Figure 21. 450 Oak Street, main house: (a) the southwest, primary elevation, view to azimuth 35°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 350°.

The northeast elevation has an enclosed porch with a slight front-facing gable that is supported by decorative brackets (Figure 22). The cladding under the gable is stucco with wood detail. The first floor has a replacement single-leaf three-panel door with four lights and a replacement screen, as well as a single-hung window with six top lights and simple trim. The half-story has a three-sash, six-light window with wood mullion. There is a wing on the north end with a shed roof, poured concrete foundation, and a doorway leading to stairs and a basement entrance. The first floor also has a pair of single-hung windows with wood mullion and six lights in upper sashes.



Figure 22. The northeast elevation of the main house at 450 Oak Street.

The northwest elevation at the foundation level has two recessed windows with one single-sash, and one sash with three lights and an added screen. Single-hung windows with simple surround and six top lights are at the north and south ends of this elevation. Between these is a replacement horizontal two-sash window with simple surround. A disruption in cladding around this window suggests the original window was the same size and configuration as the two windows that flank it.

A number of alterations have been made to the building's exterior and interior. Slight changes have been made to the ground plan over the years, though a sketch drawn on a Certificate of Occupancy dated 16 July 1975 indicates there have been no changes to the plan since that date. Changes to the original doors are slight, but changes to the windows are extensive. Changes to the original shingle cladding are moderate. Gutters have also been added. Most of the interior alterations appear to have taken place in 1975, when a permit to remodel the residence for three additional units was issued to owner Kenneth L. Gross. The following year, an additional unit was added to the 1975 permit, though this may be a reference to the outbuilding turned into an apartment behind the main house (see Building 10 below). Several permits for remodeling and electrical work were issued to owner Kenneth L. Gross of Spokane during the 1970s. Additional permits for alterations were issued to Gross including one for electrical wiring (1970), installation

of a 200 amp subpanel (1975), and plumbing (1976). A permit for the installation of a gas space heater was issued to Mark Provo in 1994. A re-roofing permit was issued to G & M Properties in 2007. Therefore, we recommend that the building is not eligible for listing on the National Register.

450 Oak Street, Detached Apartment and Garage (Building 10)

This is a pair of connected outbuildings located along the alley behind the main house at 450 Oak Street (see Building 9) (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). One of the outbuildings is a single-car garage; the other is a one-story Arts and Crafts – Craftsman style dwelling that is now a single rental apartment. The apartment and garage are connected by a roof over a narrow breezeway. Each building has a rectangular ground plan, though when connected they form an L-shaped plan that covers 855 square feet. They are situated in the north half of the same lot as Building 9 (Lot 1 of Block 8 in Reaney's Second Addition, Whitman County tax parcel 112350008010000) and have the same owner (HRA Cougs LLC) as the main house. The garage is not present on the 1949 Sanborn map, though an auto garage that is now gone is indicated just to the west. Thus, that garage was either moved and attached to the residential dwelling or an attached garage was built sometime after 1949.

As previously noted, a permit to remodel the main residence at 450 Oak (Building 9) for three additional units was issued to owner Kenneth L. Gross in 1975. The following year, an additional unit was added to the 1975 permit. This latter unit may be a reference to the dwelling that is now the apartment described here.

The apartment building features a low side-facing gable roof with projecting eaves and exposed rafters. The attached garage has a front-facing gable with projected eaves and exposed rafters (Figure 23a). The roofs of both buildings are covered with composite shingles and gutter systems have been added to both. The roofs intersect to create a three-foot-wide, covered walkway between the two buildings. This walkway is closed by a vinyl gate that opens onto the back alley. Both buildings are clad with wood shingles, and both have poured concrete foundations. The primary elevation of the apartment is the southwest, which faces the back of the main house. This elevation features a single-leaf door in the middle with a single-hung window on either side of the door. The roofline is slightly projected over the doorway, by approximately one foot, and that feature is supported by two simple brackets. Poured concrete steps and metal hand rails lead to the door. The windows and doors throughout the building feature simple wood trim or surrounds.

The southeast elevation of the apartment has a pair of single-hung windows separated by a wood mullion. The underside of the open gable has horizontal wood planking detail. There are no notable features on the northeast elevation, but the back slope of the roof has four vent openings and three stove/exhaust pipes. The northwest elevation, beneath the covered walkway, features a single-leaf main door with an original storm door, which has a screen on top and a panel on bottom. Also on this elevation it appears that a window has been removed and the opening boarded up.

The vehicle door of the garage is located on the northeast elevation and opens onto the back alley. This single-leaf door is made of vertical wood planks and opens upward on a track. To the left of the door is a small projected wing with a side-sloping shed roof covered with composite shingles. Centered in the wing is a pair of cupboard-like vertical-board doors that open outwards. There are no notable features on the northwest elevation of the garage.



a



b

Figure 23. 450 Oak Street, apartment and garage: (a) three-quarter view of the southwest and southeast elevations, view to azimuth 345°; (b) three-quarter view of the southwest and southeast elevations of the garage, view to azimuth 5°.

The southwest elevation of the garage features a foundation that is covered by vertical wood planking, with the left corner opening to allow access to the crawlspace beneath the building (Figure 23b). On the primary level is a small opening for a window, but it has been boarded up. There is a pair of single-hung windows separated by a wood mullion in the center of this elevation. These windows appear to be original, but one of the bottom panes is missing. Wood boards now partially cover the windows, likely acting as protection because a basketball hoop has been attached to the side of the garage above the windows. The southeast elevation features a more exaggerated projection of the eaves, which serves to create the covered passageway between the two buildings. Added side-facing wood stairs at the left corner lead to a single-leaf door, which is a replacement. A small single-hung window to the right of the door is original.

Although the cladding on these two attached outbuildings are original, the majority of the original windows and doors have been replaced. The building plan was extensively altered when the garage was either moved and attached to the residential dwelling or was added on to it. Therefore, we recommend that this building is not eligible for listing on National Register

Ash Street Building Descriptions

We inventoried two buildings on the northeast side of Ash Street, the Sacred Heart Catholic Church and the Church Parish Office (Figure 24). The owners of the buildings at 425 Ash (on the southwest side of the street) and 450 Ash (on the corner of Ash and Opal) opted out of the inventory.



Figure 24. Overview of the northeast side of Ash Street, view to azimuth 50°.

400 Ash Street, Sacred Heart Catholic Church (Building 17)

The Sacred Heart Catholic Church is at the northeast corner of Ash and Maple streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The church is

situated on Lots 5 and 6 of Block 5 in Reaney's Second Addition (Whitman County tax parcel 112350005060000). The address before 1972 was 304 Ash Street.

Construction on the present Late Gothic Revival style building began in 1935. Prior to this, Masses were held at the former Christian Church at the corner of Olsen and State streets. As the congregation continued to grow through the early decades of the twentieth century, the need for a larger building became apparent. Father Oakley O'Conner, who succeeded Father Carl Phillip in 1933, began discussions with Spokane Bishop Charles C. White and Yakima architect John Maloney regarding the new church's design and construction. Property for the new church was purchased at the corner of Ash and Maple streets for the sum of \$8,700 (Caraher 2013). An existing house on the planned building site was moved to the east and became the church rectory. The parish also purchased an adjoining house and lot which now serves as the Parish Office (see Building 16 below). Construction on the new Sacred Heart Church was completed in 1935 at a cost of \$18,475 (Caraher 2013). It was dedicated on 24 May 1936 by Bishop Charles D. White.

The original church has been modified by the construction of two large brick additions. In 1958, the first large addition, known to parishioners as the "Annex," was completed on the southeast side of the original building. Historic photos show the church originally had a T-shaped ground plan that covered approximately 3,740 square feet (Figure 25, Figure 26). The Annex was a rectangular addition that was added to the eastern wing of the original "T" ground plan, and increased the area to approximately 5,540 square feet. The cost of the Annex was \$33,000 (Caraher 2013).



Figure 25. Photograph taken in August 1936 of the northwest and southwest (main entrance) elevations of the recently completed Sacred Heart Catholic Church.

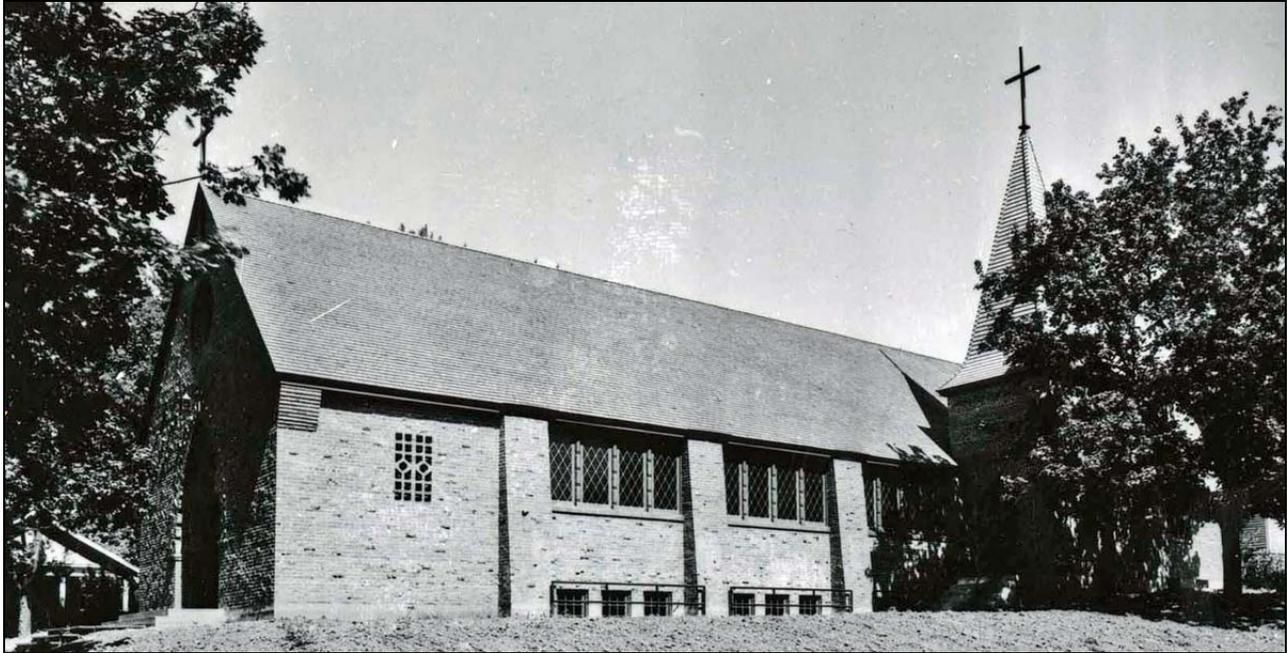


Figure 26. Photograph taken in August 1936 of the southwest (main entrance) elevation and spire of the recently completed Sacred Heart Catholic Church.

Permitting records indicate that various interior remodeling projects continued from the 1970s through 2010. This included a renovation of the church sanctuary completed in 1980. A new roof was added in 1973. In 1983, a 2,400-sq.-ft. brick social hall was built off the eastern end of the Annex. The former social hall in the basement of the church was renovated at this time and turned into classrooms (Caraher 2013). The new social hall was the last major addition to the church to date. From the outside, this addition appears to be a separate building, but an interior walkway connects it with the 1958 Annex. Between the new social hall and the original part of the church is a courtyard that features a large concrete patio that extends off the southeast elevation of the original part of the church.

The original part of the church, built in 1935, has a cross gable roof with close eaves and is covered with asphalt composition shingles (Figure 27). The walls are common bond brick with some projected bricks for decoration. The southwest elevation of the original part of the church faces Ash Street and contains the main entrance (Figure 27, Figure 28). Poured concrete and decorative brick stairs lead to a double-leaf eight-panel door with brass decorative panels and recessed blinds. The door is situated beneath a center-pointed decorative arch above the decorated wood transom. There is an inset stone decoration above the doorway.

The southeast elevation of the original building has an engaged pilaster with three equally spaced columns (Figure 29). At the foundation level between each pilaster are three single-sash twelve-light windows with simple wood trim. All are original and are hinged to open on the right side. There is a poured concrete retaining wall with metal railing in front of the foundation level windows. At the south end of the elevation there is a stained glass window covered by decorative brick. Between each pilaster is a set of four sashes with new glass covering the original stained glass. The sashes are separated by decorative wood mullions, and they all have plain header and sill.



Figure 27. The present day southwest and northwest elevations of the Sacred Heart Catholic Church view to azimuth 85°.

Attached to the southeast elevation of the original building is a square spire, which also is part of the original building. The southwest elevation of the spire at the ground level has a simple wood door with two center pointed arches. The door has a simple vertical flushboard with matching transom panel that meet the point of the brick arch. Brick detail above arch includes a cross with herringbone detail under eaves on southwest and southeast elevations. At the corner of spire there is a metal protective hood over a recessed bay with a Sacred Heart statue. The spire has a bellcast hip roof with a wood cross on the apex. The southeast elevation of the spire has a single-sash nine-light window at the foundation level and a single-sash five-sided (star point) stained glass window with simple wood trim at ground level.

The northeast (rear) elevation of the original building has four original stained glass windows with muntins that form diamonds, with a sash of glass over the top and flat joint slip sill (Figure 30a). Two windows are on the original central projection and one each are on the original wings to the left and right of the central projection. The window opening to the left of the replacement single-leaf door in the projection is currently boarded. There is a very large, broad pediment hood constructed of wood clapboard that projects from the projection façade and is supported by large wood simple bracket. A wooden cross on the hood above the door appears to be a modern addition.



Figure 28. The main entrance (southwest elevation) of the Sacred Heart Catholic Church, view to azimuth 30°.

The northwest elevation that faces Maple Street features windows and architectural details that are symmetrical to the southeast elevation of the original building (Figure 30b). A single stack chimney extends from the top of the western wing with a vertical joint detail at the top.

The Annex, constructed in 1958, extends eastward from the rear of the original church building (Figure 30a). The southwest elevation of the Annex is clad in stretcher bond brick with some projected bricks, and four recessed panels with vertical wood veneer planking (Figure 31a). Where the panels meet the poured concrete foundation is a vertical joint flat arch. At the bottom of the first recessed panel are two single-sash windows with brushed glass and a wood mullion. Above is a set of four single-sash decorative glass windows with decorative muntins, wood mullions, and simple trim. At the second panel is a set of four single-sash windows the same as above, and below this set of four windows is a similar set that is reduced in scale; two have one light replaced with glass from windows removed from the original 1935 building. The third panel is the same as the first and second but with a wooden hood that extends from the second to fourth recessed panel and is supported by large wood beams. Below the hood is a two-leaf door with four panels on bottom and nine lights on top of each leaf. On either side is a single window. There is a projected retaining wall on the left side of door with brick detail matching the rest of the Annex. On the fourth panel is a set of four windows above a wood veneer.



Figure 29. Southeast elevation of the Sacred Heart Catholic Church, view to azimuth 300°.

The southeast elevation of the Annex has a recessed panel with wood veneer cladding and a large rectangular vent underneath the gable. A large wooden cross is affixed to the vent with wood cladding coming off at the bottom. There is a two-car flat-roof carport that is supported by metal beams fixed onto a poured concrete pad attached to this elevation.

The northeast elevation of the Annex has two single-sash etched glass with simple wood trim and mullion at the foundation level (Figure 30a). The first story has a single-leaf door with wood board above transom and the same cladding as the aforementioned four panels. The side panel to the right of the door at the east end of the elevation has textured glass and decorative muntins. There are also three sets of four-sash windows; five lights have glass that was once part of the windows removed from the original building (according to an unidentified church parishioner, the contractor incorporated some glass from original windows into the lights of the new windows). Finally there is a single stack chimney at the western end of the elevation, where the addition meets the wing of the original building.

The Social Hall addition was built in 1983 and is connected to the east end of the Annex by an enclosed walkway. This addition has the same decorative brick common-bond cladding as the rest of the building and has a high gable roof (Figure 31b). A poured concrete walkway leads to the addition from Ash Street. The northwest elevation has two tall and narrow two-sash windows, one on the first story, one on the half story. The southeast elevation has two sets of single-light horizontal sliding glass doors.



a



b

Figure 30. Sacred Heart Catholic Church: (a) northeast elevation, view to azimuth 160°; (b) northwest elevation, view to azimuth 170°.



a



b

Figure 31. Sacred Heart Catholic Church: (a) southwest elevation of the Annex, view to azimuth 30°; (b) northwest and southwest elevations of the Social Hall modern addition, view to azimuth 75°.

The northeast elevation of the Social Hall, at the ground level, has two single-panel doors with a light above; one door is on the walkway that connects the addition to the Annex. At the half-story, there is a metal ramp and railing that connects from the carport to the addition. There is a single panel door at the end, flanked by two large vents. The northwest elevation has the same set of sliding doors as the southeast elevation. At the west end, there is an entryway; inside of the entryway is one large single-sash window.

The ground plan of the church has been altered extensively by the construction of the two large brick additions in 1958 and 1983. Changes to the cladding and windows on the original part of the church have been slight, while changes to doors have been moderate. Changes to the interior are also extensive. Caraher (2013) notes there were ongoing remodeling projects in the original basement from the late-1930s through the 1950s. Therefore, we recommend the church is not eligible for listing on the National Register solely on the basis of significant architecture (Criterion C, Design, Construction, and Work of a Master).

440 Ash Street, Sacred Heart Catholic Church Parish Office (Building 16)

This is a one-story Arts and Crafts – Craftsman located on the north side of Ash Street, two lots east of Sacred Heart Church (NW¹/₄ NE¹/₄ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). It is located on Lot 2 of Block 5 in Reaney’s Second Addition (Whitman County tax parcel 112350005020000). The address before 1972 was 308 Ash Street. The house was constructed in 1919 as a single-family dwelling. It was purchased by the Sacred Heart Church in 1979 and has served as the business office for the church ever since.

The house has an irregular ground plan that covers 1,390 square feet. It has a low hip roof covered with composite shingles. A gutter system has been added. There is an exterior chimney on the southeast elevation and another, smaller chimney that extends out of the northwest slope of the roof. Cladding under the roof eaves and along the skirt is wood shingles, while the middle portions of the walls are clad in wood clapboard. The foundation material is unclear because it is fronted by the wood shingles, but appears to be poured concrete.

The southwest elevation, which faces Ash Street, features a partially enclosed porch at the front entryway (Figure 32). Poured concrete stairs with metal hand railings and a concrete sidewalk lead up to the porch from Ash Street. The porch takes up the left half of the southwest elevation and is partially enclosed by a half wall. The “Parish Office” sign is on the half wall and sits above a ventilation hole. The roof over the porch is supported by simple wood pillars; the floor and ceiling of the porch feature simple wood planking detail. Under the porch roof there is a large single-sash window to the left of the single-leaf door. All windows and doors feature simple wood trim. The door is original, with a large light on the top and three panels on the bottom, but the storm door is a replacement. To the right of the door, facing the northwest, is a large two-sash window, with the smaller bottom sash appearing to open. Towards the right side of the southwest elevation is a large single-sash window. Below this window, in the foundation level, is a set of three single-sash windows separated by wood mullions.

The foundation level of the southeast elevation has a set of single-sash windows separated by a wood mullion to the left of the chimney base. To the right of the chimney are two single-sash windows. Also in the foundation of this elevation is a replacement single-leaf door to the basement. The door and concrete steps leading down to the door are covered by a partially enclosed entryway with a front-facing gable roof. A chimney made of stretcher bond masonry is located near the southern end of the elevation. Above the foundation level and to the right of the chimney are one small single-sash window and three single-hung windows.



Figure 32. The Sacred Heart Catholic Church Parish Office, 440 Ash Street, southwest elevation, view to azimuth 20°.

The northeast elevation features some shiplap detail around the very bottom of the foundation, below the wood shingle skirt (Figure 33b). The left half of this elevation features a small wing with a medium hip roof and one single-hung window. The northwest side of the wing has two two-sash windows, one of which has been boarded over. To the right of the wing is a replacement single-hung window and a single-leaf door with five lights. The door is original but the storm door is not. Poured concrete stairs and a wooden hand railing lead from the poured concrete patio to the door. Over the patio is an added decorative awning added in 1960. Beyond the poured concrete patio is a decorative brick extension and paver stone walkway, neither of which is original.

The northwest elevation of the house features a slight projection in the middle of the wall that contains an off-center replacement horizontal sliding window (Figure 33a). To the left of the projection are two single-hung windows as well as a horizontal sliding window in the foundation. To the right of the projection is a single-hung window. In the foundation below this window are two single-sash windows, one of which has four lights.

A number of changes have been made to the house over the years, some more significant than others. Changes to the ground plan are slight, but there have been moderate changes to the original cladding and doors. Though some of the original windows remain, most appear to have been altered in some manner or completely replaced with newer windows. City permitting records show the awning was added to the back of the house in 1960 and a new furnace was installed in 2009. Therefore, we recommend that the house is not eligible for listing on the National Register of Historic Places.



a



b

Figure 33. The Sacred Heart Catholic Church Parish Office, 440 Ash Street: (a) northwest elevation, view to azimuth 120°; (b) northeast elevation, view to azimuth 210°.

Spaulding Street Building Description

There is one property in the survey area with a Spaulding Street address, which was inventoried.

410 Spaulding Street (Building 26) (DAHP No. 38-00380)

This is a two-story Tudor – Elizabethan built in 1925. It is on the north side of Spaulding Street, one-half block east of Maple Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is on Lot 2 of Block 4 in Reaney's Second Addition (Whitman County tax parcel 112350004020002). It is owned by Debra A. Wright. Before 1972, the address was 302 Spaulding Street. The property is in the Historic Property Inventory Database as legacy data (DAHP No. 38-00380), but no architectural details were previously recorded.

This single-family dwelling has an irregular ground plan that covers 1,623 square feet. The roof is a hip on the primary with projecting eaves and plain fascia. There is an extension of hip over the south end of the southwest elevation, and a slide-sloping shed roof over the west side of the southwest elevation. Gutters have been added. There is a center single-stack chimney with stretcher-bond masonry. The walls are clad with stucco with wood detail on each elevation. The foundation is poured concrete. There is a poured concrete retaining wall on the southwest and southeast elevations. There is a two-track poured concrete driveway and hexagonal paving stones that connect the drive to the poured concrete sidewalk in front of the house.

The primary, southwest elevation faces Spaulding Street (Figure 34). A poured concrete sidewalk and stairs lead to a poured concrete stoop at the front entrance. The stoop has a semi-circular hood and decorative brackets above, as well as an original light fixture above the door. The door, which appears to be original, is a single-leaf with two panels on the bottom and four lights on top. It is surrounded by a plain white trim and a new storm door has been added. The foundation of this elevation contains a single-sash three-light window that is side-by-side with a wood mullion. The first story has three single-hung windows with four top lights and wood mullions, and a plain sill. The header merges with the bottom of the decorative wood detail on the second story. The second story has three single-hung windows with four top lights, wood mullions, and plain sill.

The southeast elevation, at foundation level, has three single-sash three-light windows with plain wood trim (Figure 34b). The first story has a set of three single-hung windows with wood mullion and simple wood trim. The right end of the southeast elevation is inset about one foot, and has a single-hung window with plain wood trim. The second story has two pairs of single-hung windows with wood trim and wood mullion. The inset area has a single-hung window with wood trim.

The northeast elevation, at the foundation level, has no significant features. The first story has a single-hung window with four top lights. At the right end of this elevation, there is a single-hung window with etched glass that does not appear to be original. To the right of this is a double-leaf door with fifteen lights on each door. The door appears to have original hardware and original screen. There is a light fixture above the door. A poured concrete stoop is in front of the door. The second story has two pairs of single-hung windows with four top lights and wood mullions.

The foundation of the northwest elevation contains a coal chute and a single-sash three-light window (Figure 35). The majority of this elevation is projected out from the foundation-level footprint. The projection has a shed roof that does not meet the primary roof line. The first story has a pair of single-hung windows with four top lights, wood mullions, and simple trim. At the right end of the projection, there is a single-leaf door with two panels on the bottom and four lights on top. This matches the front door on the southwest elevation. The door is covered by an original screen door. To the right of the door is a small, single-sash four-light window with plain trim and sill. The second story has one small and one larger single-hung window with four top lights.



a



b

Figure 34. 410 Spaulding Street: (a) primary, southwest elevation, view to azimuth 30°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 5°.



Figure 35. 410 Spaulding Street, northwest elevation, view to azimuth 150°.

The driveway runs along the base of the northwest elevation and leads to a detached single-car garage at the northernmost corner of the building. The garage has front gable roof and is clad in stucco with wood detail, similar to that of the main house. There is a vertical flushboard door. The southwest elevation is the primary elevation and has projected eaves and rafters exposed, with plain fascia on the open end. On the southeast elevation there is a single-sash six-light window with plain wood trim. The northwest and northeast elevations of the garage have no notable features.

This house appears to have undergone few alterations. The plan, cladding, and doors appear to be all original and intact, and there have been only slight modifications to the windows. The only alteration identified from City permitting records was the installation of a gas furnace in 1998.

Therefore, we recommend the house at 410 Spaulding is eligible for listing on the National Register on the basis of significant architectural design and components (Criterion C, Design, Construction, and Work of a Master). Though the individual components lack great distinction, as a whole, the house represents a type of residential architecture associated with the early years of Washington State College. The building is one of the few in the inventory area that retains its integrity, and thus, represents an increasingly vanishing example of intact houses in the Maple Street-Maiden Lane area.

Opal Street Building Descriptions

There are two properties on Opal Street included in the inventory. There is one property on Opal Street in the inventory area where the owner opted out of the historic building survey, which is 715 Opal Street.

625 Opal Street (Building 28)

This is a one-and-one-half-story Arts and Crafts – Craftsman located on the west side of Opal Street, one-half block south of Oak Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally a single-family dwelling, the house is now divided into two rental apartments for college students. The house is located on the south half of Lot 12 of Block 5 in Reaney’s Second Addition (Whitman County tax parcel 112350005120001). It is currently owned by Curtis and Carol Troll of Pullman. The address prior to 1972 was 1405 Opal Street.

Although the Whitman County Assessor records indicate this house was built in 1910, an item in the “Personal” section of the 24 September 1909 issue of the *Pullman Herald* indicates that a Mrs. L. Borden lived at 1405 Opal Street on that date. The house at this address appears the same on both the 1908 and 1929 Sanborn maps, indicating a construction date of 1908 or earlier. Therefore, the date indicated in the Assessor records is only an approximate build date. Records of alterations contained in the City of Pullman files show that the property was owned by Mahlon Ross in 1962. In 1985, the owner was Arnie Frisch. Ronald R. and Barbara J. Murphy took over the property in 1986.

The house has a rectangular ground plan with projected entryway and covers 1,391 square feet. The dominant roofline is a front facing gable with large dormers on either slope; the shed roofs of the dormers create a roofline that resembles an airplane bungalow (Figure 36). All eaves are projected with rafters exposed. The roofing material is a composite shingle that appears to be new. The walls are clad in wood clapboard with a wood shingle skirting. The front porch is clad in stretcher bond brick veneer. The foundation is made of poured concrete. A poured concrete retaining wall stretches around the southeast and southwest elevations. A wooden fence runs along the northeast and northwest sides of the yard.

On the southeast elevation, there is a covered porch to the right of an enclosed front room (Figure 36). This section of the house is covered by a low hip roof and features stretcher bond brick veneer over the foundation. Brick pillars and a half-wall flank wood stairs that connect a poured concrete sidewalk to the wood floor of the porch. On either side of the stairs, the brick fronting on the foundation includes a decorative element that resembles a nearly-flat arch, mimicking a vent in the porch foundation. The brick veneer wraps around the southwest and northeast elevations of the porch section. Under the porch roof, on the southwest elevation, there is a set of three windows separated by wood mullions. The larger, central window is a single-sash with a large light on the bottom and three smaller lights on top. It is flanked by a pair of narrow single-hung windows. All windows in this house feature simple wood trim. On the southeast elevation of the porch there is a large single sash window with six small lights above one large light; fixtures for a screen remain. The northeast elevation of the enclosed portion of the porch has a set of three windows similar to those previously described on the southwest elevation of the porch. To the right of the enclosed portion of the porch, facing southeast, is a single-leaf door with nine lights. The door is original, but the hardware has been replaced. To the right of the door is a large single-sash window with a large light on the bottom and six lights on the top. The porch is supported by simple wood pillars and the ceiling is made of horizontal flush board. A single light hangs in the ceiling over the door. The upper half-story of the southeast elevation contains a single-hung window with six lights in each sash. Horizontal flush board is visible on the underside of the open gable.

On the northeast elevation there are two single-hung windows in the first story, along with two single-sash windows of unequal sizes. One of the single-hung windows retains its original screens. The upper half-story of this elevation features two single-hung windows.



a



b

Figure 36. 625 Opal Street: (a) southeast elevation, view to azimuth 300°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 345°.

The northwest (rear) elevation is fronted by a wood deck addition with stairs that allow access to the upstairs apartment. The first story of this elevation contains a single-hung window, a pair of tall and narrow single-sash windows separated by a wood mullion, and an original single-leaf door with one light on top. The original screen door remains as well, although the actual screen is missing. Between the first and second levels there is a boarded up opening which may have originally been a window. On the upper half-story of the elevation there is a replacement single-leaf door flanked by single-hung windows with six lights in each sash.

The southwest elevation, which faces the alley, features a covered entryway with a low hip roof and wood lattice over the foundation (). Wood stairs lead to an original single-leaf door. To the right of the entryway, in the foundation level, there is a boarded window opening and an iron coal chute. There is also a hinged opening in the foundation to the left of the covered porch which likely leads to a crawlspace. On the first level of this elevation, to the left of the entryway is a boarded window opening that now houses an air conditioning unit. To the right of the entryway is a pair of single-sash windows with a wood mullion, a large window with two large lights on the bottom and five smaller lights on top, and one additional single-sash window on either side of the chimney. The chimney is made of stretcher-bond masonry and has two header fixtures. The upper half-story of this elevation contains two single-hung windows with six lights in each sash, and one single-hung window with four lights in each sash.



Figure 37. The southwest elevation of the house at 625 Opal, view due north.

There is a detached single-car garage between the alley and rear of the house. The garage has a front-facing gable roof with projected eaves and modestly decorated rafters. It is constructed of common-bond brick masonry and has a poured concrete foundation. The metal garage door on the southeast elevation runs along overhead tracks and is not original. The northeast elevation has two single-sash four-light windows with wood trim and a brick slip sill. Where a third window might

have been, a large section of the brick has been replaced by concrete. The northwest elevation contains one single-sash four-light window. The southwest elevation has three windows identical to those on the northeast elevation.

Much of the original cladding appears to be intact, though there have been slight changes to the ground plan and doors. Changes to windows is moderate to extensive. Although the first story retains many of the original windows, the building as a whole has a majority of replacement windows. Alterations identified in City records include a 5-x-10-ft. addition permitted in 1962 (perhaps an older deck at the rear of the house?). The contractor is listed as Myron Marcellus. The house was re-roofed in 1970 and a new gas furnace was installed in 1985. In 1986, a permit was issued to convert the second floor into a separate apartment, turning the house into a duplex. This is probably when the current deck attached to the northwest elevation was constructed. Given the alterations to the building, we recommend that it is not eligible for listing on the National Register.

635 Opal Street (Building 8)

This is a three-story Beaux Arts – Classical Revival built in 1908. It is located at the southwest corner of Opal and Oak streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). This single-family dwelling is on the north half of Lot 12 of Block 5 in Reaney's Second Addition (Whitman County tax parcel 112350005120002). It is currently owned by Craig and Rose Olson. The address before 1972 was 1407 Opal Street.

An advertisement placed in the 26 July 1912 Pullman Herald indicates the owner at that time was E. H. Babcock. The 1917 Washington State College Campus Directory lists two occupants for that year: W. J. LaFollette and A. C. Langdon. The two men enlisted in the Washington National Guard together and were assigned to Company I of the Spokane Guards (*Pullman Herald*, 30 June 1916). LaFollette was the son of U. S. Representative W. L. LaFollette of Pullman. Langdon, originally from Palouse, was a member of the State College football team and was named all-Northwest center (*Pullman Herald*, 30 June 1916). C. C. Farr lived here in 1919 (*Pullman Herald*, 4 July 1919).

From 1919 to 1923, the house was rented by the Phi Delta Theta fraternity. The page from the 1920 *Chinook* Year Book listing the fraternity is shown in Figure 38. The Alpha Gamma sorority rented it from 1924 to 1931, and the Alpha Omicron Pi sorority rented it from 1932 to 1935. The page listing the sorority from the 1924 *Chinook* Year Book is shown in Figure 39. From 1936 to at least 1938, the house was rented by the Erani Club. City of Pullman permitting records identify owners from the last 50 years including Harold Garrett (1958), George Mink (1963), John Butler (1972), Finch's Wheatland Realty (1976), Wesley Foundation (1977), and Ken Spitzer (1981).

The house has a rectangular ground plan that covers 1,303 square feet. The roof is a bellcast hip and boxed cornice with rafter detail, a wide frieze, and is covered by new asphalt composite shingles. The walls have wood shingle cladding on the southeast elevation and below the bottom of the first floor windows on the northeast, northwest, and southwest elevations. Above the window level on the northeast, northwest, and southwest elevations is wooden clapboard. The foundation is coursed dressed basalt covered by a wooden lattice.

The southeast elevation, which faces Opal Street, is the primary elevation (Figure 40). From the sidewalk along Opal Street, a set of poured concrete steps leads to a walkway that extends to the front porch. The walkway originally was brick, but the bricks are now mostly covered by poured concrete. At the end of the walkway, wooden stairs lead to a partially enclosed porch that is supported by simply decorated columns and two simple support panels.

CHINOOK **1920**

Phi Delta Theta



Founded 1848
WASHINGTON GAMMA CHAPTER
 Chartered 1918
 Flower—White Carnation
 Colors—Azure and Argent

FRATER IN FACULTATE
 Charles A. Isaacs

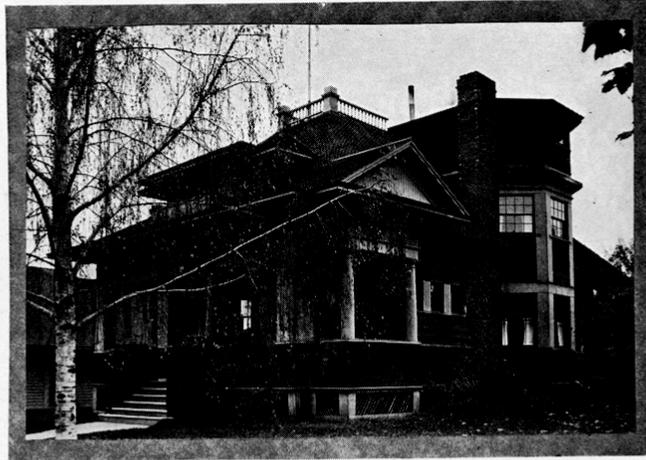
FRATRES IN UNIVERSITATE

	1919	
	Russel W. Chase	
	1920	
Robert D. Schnebly		Earle P. Cook
Rufus C. Schnebly		Maynard Wexler
	1921	
Ray O. Forgey		P. Arthur Pederson
	1922	
Robert E. Green		Edgar N. Funk
Deane Richardson	Lyle H. Kelly	Leo J. Morgan
A. J. Deffland	Lloyd Evans	Stanley Woodruff
Hartly J. Travers	Paul H. Ninniman	J. Walter Blair

Two Hundred Seventy-four

Figure 38. A page from the 1920 *Chinook* Year Book listing the Washington Gamma Chapter of the Phi Delta Theta fraternity with a photo of the house at 625 Opal Street (Washington State College 1919).

Alpha Gamma



LOCAL
Founded 1921

Colors—Old Rose and Gray

Flower—Pink Sweet Peas

SORORES IN FACULTATE

Mrs. C. A. Isaacs

Mrs. Solon Shedd
Miss Edna McKee

Mrs. Verl Keiser

SORORES IN UNIVERSITATE

1923

Maybelle Tardy

Ethel Van Eaton

Alice Tardy

1924

Mildred Hunt

Vivian Whalen

Donna Rezac

1925

Bernice McDermid
Virginia Frost

Alyce Peterson

Lorna Annis
Margaret Twohy

1926

Rose Reilly
Frances Peterson
Ruth Larkee

Harriet Carmichael
Emalie Friese
Cornelia Drake

Grace Greenawalt
Ruth Annis
Maybelle Wilson

Pledges

Rosalia Koch

Marguerite Miller
Dorothy Talbot

Lola Zuloaf



CHINOOK

Two Hundred Sixty-six

Figure 39. A page from the 1924 *Chinook* Year Book listing the Alpha Gamma sorority with a photo of the house at 625 Opal Street (Washington State College 1923).



a



b

Figure 40. 635 Opal Street: (a) southeast elevation, view to azimuth 305°; (b) three-quarter view of the southeast and northeast elevations, view to azimuth 265°.

The porch is surrounded by a decorative lintel. The porch roof is a boxed cornice and pediment with decorative consoles, and is composed of horizontal flush planking with three light fixtures. The front door of the house is center-left and has decorative panels on bottom, a single etched glass light, and is surrounded by a simply decorated lintel. The porch also has a pair of single-hung windows with simple trim and no slip sill. Above the porch is a dormer and side facing gable, a pair of single-hung windows with wood mullion on both sides, and horizontal two-sash windows. The roof on this section is a boxed cornice with flush planking on the underside and is supported by two simple brackets.

The open porch at the east end of the northeast elevation is supported by two simply decorated columns (Figure 36a, Figure 41). In the foundation of the northeast elevation there is a small opening in the center of the bay and two coal chutes. The first story features a pair of single-hung windows with plain trim and missing lintel, a bay of three equal single-hung windows, and a single-hung window with a plain lintel. The second story has the same bay windows, and the third story has a set of three horizontal two-sash windows. The third story of the bay is most likely an addition as roofing material separates the second and third story. A photograph of the house in the 1924 edition of *The Chinook* (Washington State College 1923:266) shows this third story addition was already present at that time (Figure 39). A common-bond single-stack side-right chimney and metal fire escape runs down the center of the bay. The fire escape is not present in the 1924 photograph.



Figure 41. The northeast elevation of the house at 635 Opal Street, view to azimuth 240°.

The northwest elevation has an addition with back porch that is covered by a low hip roof and rests on a poured concrete foundation. City permitting records indicate the porch was built in 1972. The porch is semi-enclosed with a light above the back transom but no glass and no door in opening. It is supported by plain beams with eaves projected and rafters exposed with a frieze around porch. A single-hung window with plain trim is to the left of the porch. The back door to the

home has simply decorated lintel and missing trim. On the porch is a pair of single-hung window with wood mullion, simple lintel and sill that meets the break between cladding and skirt. The second story has a dormer with a low-hip roof, encased eaves, and a single-hung window with missing lintel and simple surround. The roof on the right half of the northwest elevation is a medium hip with eaves projected and rafters exposed.

The southwest elevation at the foundation level has two horizontal two-sash windows with plain wood surrounds that are vinyl replacements. The first story has a single-hung window with decorated lintel and plain slip sill. A projected bay with plain shed roof matches the bay on the northeast elevation and has three single-hung windows with supporting beams projected underneath. The windows are missing the screens. One small single-hung window is left of the bay. The second story features a pair of single-hung windows with wood mullion, simple trim, and missing lintel, as well as a single-hung window with plain trim and no lintel. The attic has a single-sash window with plain trim and no lintel.

Comparison of the present building with the photograph printed in the 1924 edition of *The Chinook* (Figure 39) shows that the building has been significantly altered since that time, including the construction of a porch addition and removal of railing on top of the roof. There is also evidence of earlier alterations made prior to the 1924 photograph (e.g., the third floor bay addition on the northeast elevation). Although changes to the cladding are slight, alterations to other elements of the building are more significant. These include moderate changes to the ground plan and extensive changes to the windows and doors. Permitted alterations identified from City records include the installation of a gas line and cook stove in 1963, construction of the back porch in 1972, window replacement and roof repair in 1977, re-roofing in 1981, and second floor remodeling in 2008. The building has undergone substantial alteration. Therefore, we recommend that it is not eligible for listing on the National Register.

675 Opal Street (Building 12)

This is a one-and-one-half-story Beaux Arts–Classical Revival located on the west side of Opal Street, one-half block south of Campus Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). It is at the rear of the same lot as 455 Campus Street (Building 13) and has the same owner (Wallace Trust of Pullman). Originally a single-family dwelling, the house is now divided into two rental apartments for college students. The house is located on the south half of Lot 12 of Block 8 in Reaney’s Second Addition (Whitman County tax parcel 112350008120000). The address prior to 1972 was 1507 Opal Street.

According to Whitman County assessor records, this house was built in 1917. Rebecca Tapp owned another other house on the same lot (455 Campus) at this time, but it is unclear if she owned both houses. Both houses on Lot 12 were owned by Fred Welch in the 1950s and 1960s, and both are owned by the Wallace Trust today. Thus, the ownership histories of the two buildings are likely the same after 1917. When the house at 675 Opal was built, Tapp was renting 455 Campus to F. C. Forrest (see discussion of 455 Campus [Building 13]). Therefore, it is likely this second house on the lot was built as a rental rather than the residence of the owner. The 1949 Sanborn map uses the symbol “F,” meaning a Flat, i.e., a rental. On 11 September 1919, Tapp sold “lots 11, 12, blk 8, Reaney’s 2nd add” to James S. Klemgard for \$5,400 (*Pullman Herald*, 19 September 1919). Presumably this included both houses on Lot 12.

The house is built on a foundation of poured concrete and has an irregular ground plan that covers 1,306 square feet, although it is very nearly an “L” ground plan with intersecting gables. A front-facing gable opens over the primary (northeast) entrance, while a side-facing gable tops a rear segment of the building that stretches to the northwest. The eaves are closed and the roof is covered

with composite shingles. Each gable has a chimney made from stretcher bond masonry. The building is clad in clapboard.

The front entrance is located on the east half of the northeast elevation (Figure 42a). The partially enclosed front porch faces Campus Street, but the front door opens onto Opal Street. The porch covers the left two-thirds of the front façade. A half-wall encloses the porch, and it appears that windows or screens once wrapped around the porch. Wood mullions remain, although one appears to be missing. Front-facing wood stairs lead to the porch entryway, and the floor of the porch is simple wood planking. Under the low hip roof of the porch are three single-hung windows, two of which are paired and separated by a wood mullion. The single-leaf front door faces the southeast and opens into the fully enclosed portion of the front elevation to the right of the porch. Most of the door, which features a light on top and a panel on the bottom, appears to be original though the hardware has been replaced. There is also a light above the transom. In the half-story above the porch, there is a horizontal sliding window. Moving to the right, along the northeast elevation, there is a single-hung window in the northwest-facing portion of the front segment of the building.

The northeast elevation of the west half of the building features three single-hung windows and a replacement single-leaf door that is the entrance into the second apartment (Figure 42b). The door has a gable hood supported by minimal brackets and front-facing wood stairs connecting the entrance to a poured concrete sidewalk that wraps around the northeast and northwest elevations. The northwest elevation of the rear part of the building features one single-hung window on the left side of the ground level and a horizontal sliding window in the upper half-story.

The west half of the southwest elevation features a replacement single-leaf door with gable hood supported by plain wood beams that connect to a wood stoop and side-facing wood stairs. The door is centered on the rear segment of the building, and is between a horizontal sliding window and a single-hung window. Centered in the roof of this rear segment is a small shed-roof dormer with a small single-hung window. The foundation of the southwest elevation contains a steel coal trap door under the wood stoop and farther to the right is a single-hung window. Moving to the right, on the short wall that faces southeast and connects with the front section of the building, there is a horizontal sliding window in the foundation and a single-hung window in the first level.

The east half of the southwest elevation features a single-hung window in the foundation. The first level has a replacement single-leaf door beneath a gable hood with minimal brackets. Side facing wood stairs lead to a wood stoop. The door is centered between a horizontal sliding window and a single-hung window. Under the gable in the upper half-story, there is a single-hung window.

The southeast elevation of the front part of the house, adjacent to Opal Street, features a horizontal sliding window and a small single-hung window in the foundation. A single-hung window is in the first level at the south end of the elevation. The north end of this elevation connects back with the partially-enclosed porch described at the beginning.

Although the original ground plan is intact and the clapboard cladding appears all original, there have been extensive replacements of the original windows and doors. Permitting records detailing alterations to the house are sparse. In 1963, a “gas receipt” for this house was issued to Fred Welch, but no other permitting records exist until 2009 when the house was re-roofed. The extensive alterations to the house lead us to recommend that it is not eligible for listing on the National Register of Historic Places.



a



b

Figure 42. 675 Opal Street: (a) northeast elevation, view to azimuth 260°; (b) three-quarter view of the northeast and northwest elevations, view to azimuth 155°.

Maiden Lane Building Descriptions

We inventoried ten properties on Maiden Lane (Figure 43). There is a modern apartment building complex that we did not inventory (Figure 44) and there are four properties where owners opted out (450, 505, 600, and 625 Maiden Lane).

400 Maiden Lane, Pullman Harvest House (Building 32)

This is a one-story Colonial Revival built in 1919. It is located on the east side of Maiden Lane at its intersection with Maple Street (NW¼ NW¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally a single-family dwelling, the house now serves as the Pullman Harvest House (a treatment center for substance addiction). The house is located on Lot 11 of Block 6 in Reaney's Third Addition (Whitman County tax parcel 112400001110002). It is on the same lot as 410 Maiden Lane; both buildings are currently owned by the Palouse River Counseling Center. The address prior to 1972 was 1110 Maiden Lane.

The house was first occupied by William L. Greenawalt and family. W. L. Greenawalt operated a successful mercantile in Pullman called Greenawalt-Folgerserved and was involved with various Chamber of Commerce committees, especially the Good Roads committee. He also assisted in the formation of a local taxpayers league, the purpose of which was to advocate for lower taxes. The 30 June 1922 *Pullman Herald* reported the marriage of daughter Edyth to James Roberts "at the home of the bride's parents, Mr. and Mrs. W. L. Greenawalt, at 1110 Maiden Lane."

The duration of the Greenawalt's tenure is unknown, but the house was owned by Edwin and Edith Dumas by the 1950s. Edwin Allen Dumas (1910–1978) was the son of James L. Dumas, a pioneer of the Washington apple industry and superintendent of the Pullman public school system from 1904 to 1906. In 1940, Edwin married Edith Evangeline Chanslor (1913–2005) and soon thereafter began working for the Klemgard Pea Processing Company. It is not clear when they moved into the house at 400 Maiden Lane, but City permitting records indicate they resided there in 1954. In 1959, Dumas purchased the Washburn-Wilson Seed Company of Moscow, at one time one of the nation's largest seed companies, after that company filed for bankruptcy. The following year he purchased the Klemgard Pea Company and from these two acquisitions, he formed the Dumas Pea Seed Company. He was active in Pullman civic affairs and was at one time president of the Pullman Lions Club (*Spokane Daily Chronicle*, 17 October 1978). Today, one of the scholarships given to undergraduate students in the College of Liberal Arts at Washington State University is the Edith and Edwin Dumas Scholarship for Excellence. In 2006, the Palouse River Counseling Center assumed ownership of the house and was granted a conditional use permit to change the use of the building from single-family dwelling to Business Group B.

The house has a rectangular ground plan that covers 814 square feet. The roof is a bellcast hip with a boxed cornice and replacement wood under the eaves. It is covered with wood shakes. The walls are clad in concrete/asbestos shingles. There is a flagstone walk leading to brick steps at the front entrance. Part of the original steps are now covered by a ramp built after the building became Harvest House. There is a side-facing west stretcher-bond chimney.

The primary, northwest, elevation faces Maiden Lane (Figure 45a). The front porch is an umbrage with door detailing on both sides. Each door detail has six panels. On either side of the door detailing is column detailing, and there is a light on the west side of the umbrage. To the left of the door, there is a single-sash window with diamond panes. The window has seventeen lights, seven of which are full diamonds; ten are half. To the right of the door, there is a single-sash twelve-pane window. Both windows have decorative shutters and plain trim and slip sill. This is a replacement window installed after a fire in 2008.



a



b

Figure 43. The inventory area along Opal Street and Maiden Lane: (a) the Greystone Apartments at Opal Street and Maiden Lane (excluded property), view to azimuth 60°; (b) overview down the eastern side of Maiden Lane from Opal Street, view to azimuth 205°.



Figure 44. The modern Ridgeview Apartments at 422 Maiden Lane, view to azimuth 160°.

The southwest elevation has a sandstone patio covered by a shed-roof fiberglass awning that extends from the elevation of the house to the wood fence that bounds the yard. The foundation level of this elevation contains a replacement metal door beneath a replacement light fixture. There is one two-sash window beneath the awning that has a metal grate covered in ivy. To the right of this, there is one two-sash horizontal sliding window with poured concrete slip sill and plain surround. This window is a replacement. There is a brick flower bed at the base of the wall, under the awning, that is in stretcher-bond and capped with concrete. The first story has one two-sash, double-hung window with plain trim, slip sill, and decorative shutters on both sides.

The southeast elevation fronts the back yard (Figure 45a). The yard is surrounded by a wood fence at the south and lattice at the north, and is completely covered with brick. Simple flower beds are incorporated into the brickwork. A spiral wood staircase leads from the back yard to a back door in the first story of the elevation. Most of the steps are original, but the wood shingle cladding on the southeast side of the staircase is a replacement.

The southeast elevation has a projection extending about eight feet from the main house. This projection is supported underneath by two metal support beams. In the foundation level, beneath the projection, there is a replacement metal door with a large light, plain trim, and original surround. There is also a two-sash window with plain trim, plain slip sill and a decorative shutter. There is a two-sash window with plain trim and diamond panes (seven full, ten half) at the left side of the elevation, on the main part of the house. To the right of this, on the southwest facing side of the projection, there is a single-sash window and back door. The window has plain trim, diamond panes (seven full, ten half), and original storm windows. The door is covered by a screen door that has four bottom panels and screen on top. The southeast elevation of the projection contains a single-sash window with plain trim and diamond panes (22 full, 16 half) and a two-sash window with plain trim. Both windows are covered by a plastic awning; the former retains its original storm window.



a



b

Figure 45. 400 Maiden Lane: (a) northwest elevation, view to azimuth 150°; (b) three-quarter view of the southeast and northeast elevations, view to azimuth 300°.

In the foundation of the northeast elevation, there is an opening for a single-sash window with plain trim, but it is boarded with a vent projecting and a metal grate covering (Figure 45b). There also is a two-sash fixed window with plain trim and a metal grate covering. The first story contains two single-sash windows with plain trim, and plain slip sill; both have decorative shutters. To the right of this is a two-sash double-hung window with plain trim, slip sill, and decorative shutters.

A detached two-car garage is located behind the house. A shared driveway runs between this house and the house to the north (410 Maiden Lane) to the garage. City records indicate that Edwin Dumas and neighbor Lewis Magill (who resided at 410 Maiden Lane) made a joint building permit application to build a shared 20-x-30-ft. garage behind the two houses in June 1954. The garage has a low-hip roof covered with wood shakes; the walls are clad in concrete/asbestos shingles. The northwest elevation of the garage contains double overhead doors with molded trim. The southwest and northeast elevations each have a single two-sash fixed window with plain trim and slip sill. There is a metal gutter that wraps around the northwest elevation. The southeast elevation has no distinguishing architectural features.

A number of alterations have been made to the building exterior and interior through the years. These include slight changes to the ground plan, moderate changes to the cladding and windows, and extensive changes to the doors. Several major interior and exterior modifications were made to the house during the Dumas' period of residence. In March 1954, a permit was issued to E. A. Dumas for the removal of the front porch, inseting of the front door, widening of the front windows, partitioning and installing a bathroom, installing a built-in wardrobe, and pouring a concrete floor for one room of the basement. In 1972, a permit was issued for "lowering [the] window of back porch." A furnace permit was issued to Edith Dumas in 1982, and in 1987 the old cedar shakes on the roof were replaced with new shakes. In 2008, the house caught fire, which necessitated some major repairs. A permit to repair the windows, siding, and framing damaged by the fire was issued by the City in 2009. The house also received "acoustical treatment" and an exterior door was replacement. One of the most noticeable differences made during the 2009 repairs was the replacement of the original picture window on the front (northwest) elevation. The cladding at the rear of the southwest elevation also was replaced following the fire, however an effort was made to match the original cladding as near as possible (Mike Berney, Palouse River Counseling Center, personal communication 20 June 2013). Therefore, we recommend that this building is not eligible for listing on the National Register of Historic Places.

410 Maiden Lane (Building 33)

This is a one-and-one-half-story Tudor-Composite built in 1904. It is located on the east side of Maiden Lane at its intersection with Maple Street (NW¼ NW¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). This single-family dwelling is on Lot 11 of Block 6 in Reaney's Third Addition (Whitman County tax parcel 112400001110001). It is on the same lot as 400 Maiden Lane; both buildings are currently owned by the Palouse River Counseling Center. The address prior to 1972 was 1112 Maiden Lane.

The first owner of the house appears to have been John Matlock, who on a list of settlers who lived in Whitman County when it was founded in 1871 (*Pullman Herald*, 2 December 1921). He served as an enumerator for the 1910 census. In 1912, Matlock sold the house to Dr. Matthew J. Beistel for \$2,600 (*Pullman Herald*, 28 June 1912). Dr. Beistel, who had recently relocated to Pullman from Jerome, Idaho, was a physician/surgeon specializing in stomach and intestinal diseases. He also provided "special treatments to the eye, ear, nose, and throat (*Pullman Herald*, 2 March 1917)." In 1916, he purchased the home of Lewis Ringer on Grand Avenue and converted it into a hospital (the Northwest Sanitarium) that he operated until 1923 (Luedeking 2010:31).

By the 1950s, the house was owned by Lewis M. Magill. Magill and neighbor Edwin Dumas (the owner of 400 Maiden Lane, see above) made a joint building permit application to build a shared 20-x-30-ft. garage behind the two houses in June 1954 (this detached garage is described as part of the 400 Maiden Lane property; see Building 32). The house was owned by Cecilia Tierney in 1974. Edith Dumas, who still resided in neighboring 400 Maiden Lane, had taken over ownership of the house by 1987. In 2006, the Palouse River Counseling Center bought both Dumas houses.

This single-family dwelling has a rectangular ground plan with a small covered entryway on the left of the front elevation. There also appears to be two additions on the back elevation that follow the rectangular ground plan. The footprint covers 1,441 square feet. The dominant roofline is a high front-facing gable with wood shake covering and close eaves. The first addition has a low hip roof, which meets with the shed roof of the second addition. The roofs of the additions are covered in composite shingles and the foundations are poured concrete; the foundation of the original building is coursed dressed basalt. The walls are clad in replacement aluminum siding. A chimney is in the center of the building and is made of stretcher bond masonry.

The northwest elevation features a covered entryway that is projected from the primary elevation (Figure 46a, Figure 47). A poured concrete sidewalk leads to a cinderblock patio and single-leaf front door. The door has a small light in the top, and appears to be original, though some of the hardware has been replaced. Over the door is a medium-hip hood supported by simple brackets; light fixtures flank the door. The covered entryway has a high gable roof. To the right of the entryway on the first story are two single-hung windows (the top sash measuring about one-third of the bottom sash). The upper half-story contains a pair of single-hung windows separated by wood mullions. All windows feature minimal wood trim and plain wood sills.

The southwest elevation contains two two-sash windows with wood trim inset into the foundation of the original building (Figure 47). The foundation of the first addition contains a four-sash window, while the foundation of the second addition is fronted in clapboard. The first story of the original building has three single-hung windows, while the first addition has a small single-hung window. The second addition has a single-hung window.

On the southeast elevation, in the second addition, the foundation has been converted into living space (Figure 46b). The left side of the addition is fully enclosed and features a single-leaf door facing the northeast. The right side of the second addition foundation is open, and there is access to the foundation of the first addition through a single-leaf door with a light on top. To the left of the door are two single-sash windows. The first level of the second addition extends out over the open foundation and is supported on the right by simple wood pillars with a plastic or fiberglass meshing enclosing the end of the open foundation. On that first level there is a set of three single-hung windows separated by wood mullions and a pair of single-hung windows with wood mullion; over the sets of windows are fiberglass awnings. On the upper half-story of the original building there are two single-hung windows (one bigger than the other), and there is a vent under the open gable.

The northeast elevation features a large single-sash window in the foundation of the first addition, as well as a small two-sash window recessed into the stone foundation of the original building. One of the panes in this window has been replaced to accommodate a vent duct. There also appears to have been a second window in the foundation, but it is now boarded up. The first level of this elevation features a set of three single-hung windows with wood mullions in the first addition. In the original building, there is one large and one small single-hung window. In the roof of the primary structure, there is a front facing gable dormer with a single-hung window. This slope of the roof also contains two additional chimney pipes.



a



b

Figure 46. 410 Maiden Lane: (a) northwest elevation, view to azimuth 120°; (b) southeast elevation, view to azimuth 330°.



Figure 47. Three-quarter view of the northwest and southwest elevations at 410 Maiden Lane, view to azimuth 75°.

Extensive changes have been made to the ground plan and cladding of this building. The windows and doors of the original part of the building appear to be intact. An undated application, probably dating from the 1960s based on the permit number, shows there was an alteration to part of the building measuring 14-x-9-ft. This is likely a reference to the alcove at the back door on the southeast elevation. In 1987, the cedar shakes were replaced and a new gas furnace was installed in 2009. Due to the extensive changes in the ground plan and roof, we recommend that this building is not eligible for listing on the National Register.

430 Maiden Lane (Building 34)

This two-story Arts and Crafts – Craftsman multi-family dwelling is located on the east side of Maiden Lane, three lots north of its intersection with Maple Street (NW¼ NW¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The building is located on Lot 9 of Block 6 in Reaney’s Third Addition (Whitman County tax parcel 112400001090000). It is currently owned by Rebecah Mih and Franz Zach. The address prior to 1972 was 1202 Maiden Lane.

Whitman County assessor records indicate this house was built in 1908. The 1914 Pullman telephone directory lists S. G. Newell at this address. Mr. Newell was a partner in a real estate loan and insurance company named Carsen & Newell. He was also one of the Maiden Lane property owners that protested the proposed paving of Maiden Lane in 1914 (see Post-Contact Historic

Context). The Washington State College Campus Directory lists H. B. Clees as a resident at this address in 1917. Mrs. K. M. Gage lived here in 1920 (*Pullman Herald*, 11 June 1920). William C. Frederickson, a fireman at the college power plant, is listed in the 1942 campus directory as a resident. In 1971, the house was owned by E. C. Miller. By 1981, the house was owned by Walter Mih of Pullman. City records list Evergreen Housing (same address on Elm Street as Walter Mih) as owners in 1987. In 2009, a certificate of occupancy for a four-unit apartment building was issued to current owners Rebecah Mih and Franz Zach.

The house has an irregular ground plan that covers 3,192 square feet. The original ground plan is extensively altered by the construction of three additions. The primary or original building has a side-facing gable with projected eaves and horizontal plain planking beneath the open gable ends, which are supported by minimally decorated brackets. The roof lines of the three additions form a front-facing gable that adjoins the side-facing gable on the southeast slope. The roof over the first addition makes an allowance for a door on the second level, while the roof on the second addition makes an allowance for a set of windows on the second level. The entire roof is covered with composite asphalt shingles. There are two chimneys, one right of center with stretcher-bond brick work and a stove pipe topper, and one partially deconstructed brick chimney in the front slope. There are numerous vents in the roof as well. The entire building is clad in replacement stucco; the original cladding was wood shingles, some of which are still visible beneath the eaves. The building has a poured concrete foundation that is designed to look like blocks.

The primary, northwest, elevation faces Maiden Lane (Figure 48a). The foundation of this elevation is not exposed. There are two front entrances on the first level, one on either corner that are recessed into the elevation to create covered front stoops. On the left, the replacement single-leaf door faces the northwest and features a single-hung window to the right. On the right, the replacement single-leaf door faces the southwest and has a single-hung window to the right. Each entryway has a small hip roof hood supported by simple brackets over the open porch that functions primarily as decoration. Each porch has a simple wood beam support at the corner. The porch on the left features a poured concrete stoop while the porch on the right features a wood plank stoop. Both are met by poured concrete sidewalks. Between the two entryways is a set of three windows separated by wood mullions. The middle window is a large single-hung window with a larger bottom sash, and it is flanked by narrow single-hung windows. The second story of this elevation features five single-hung windows, the three middle being adjoined by wood mullions.

On the southwest elevation, the additions are set back from the original structure by several feet (Figure 48b). In the foundation level of this elevation, there is one single-sash window in the primary building and two horizontal sliding windows in the second addition. There is a wing in the foundation on this elevation between the primary building and the first addition with a slight shed roof made of standing seam metal sheeting. In this wing, there is a large single-hung window with a larger sash on the bottom and one replacement single-leaf door.

The first story of the primary building has a pair of single-hung windows with mullion and a separate single-hung window. In the first addition, there is an enclosed porch that opens onto the wing's metal roof. The porch is comprised of a single-leaf door with nine lights, which faces the southwest, two eight-light windows and one four-light window facing southwest, and one eight-light and one four-light window facing southeast. The first story of the second addition contains two horizontal sliding windows and there is a replacement single-leaf door with a shed hood in the third addition.



a



b

Figure 48. 430 Maiden Lane: (a) northwest elevation, view to azimuth 100°; (b) southwest elevation, view to azimuth 60°.

On the southwest elevation, the second story of the primary building has two single-hung windows facing the southwest and a set of three single-hung windows with mullions facing the southeast; the roofline makes an allowance for these windows. The second story of the first addition has a replacement single-leaf door. There is a pair of single-hung windows with mullion in the second addition. An added wooden staircase adjoins the single-leaf door on the second level of the first addition, the single-leaf door on the first level of the third addition, and the poured concrete sidewalk that runs along this elevation.

The southeast elevation, which is comprised of the third addition, features a replacement single-leaf door with a shed hood and wood stairs in the foundation level. To the right of the door is a set of three single-sash windows with mullions. On the first story, there is a horizontal sliding window and on the second story there is a pair of single-hung windows with a mullion. An added metal fire escape ladder stretches from the second story windows to the shed hood.

The northeast elevation features a window that has been boarded up to accommodate a vent in the foundation of the primary building. There is a single-sash window and a horizontal sliding window in the foundation of the second addition. The first story of the primary building has two single-hung windows, while there is a small single-hung window in the first addition, two horizontal sliding window in the second addition, and a single-sash window in the third addition. The second story of the primary building has a single-hung window and a pair of single-hung windows with a mullion. The second story of the second addition has a pair of single-hung windows with mullion and an additional single-hung window.

This building has been significantly altered from its original configuration. As noted, the plan has been extensively altered by the construction of three additions. Changes to the original shingle cladding are extensive and all of the trim around the windows, doors, and the eaves has been replaced by aluminum trim stylized to look like painted wood. Most of the original windows and doors have been replaced. In 1971, the City issued a permit to E. C. Miller to “remodel, clean-up wiring, and add electrical heat, plumbing.” In 1981, owner Walter Mih received a letter from the City that stated “all work necessary to comply with City of Pullman is complete, except for item 12.” The letter references an earlier letter dated 30 October 1980 which evidently listed a number of items on the property that required attention. The 1980 letter is not contained in the City’s file, thus the type of work done to the property at that time is unknown. In 1987, a permit was issued to Evergreen Housing to “divide room for study area.” The house was re-roofed in 1998, but caught fire in 2000 and sustained extensive damage. Following the fire, the City declared the house dangerous and unsafe for occupancy. Unspecified work to repair the fire damage was completed later in 2000. We recommend that this building is not eligible for listing on the National Register due to the extensive alterations of windows, doors, and the extensive modifications from additions.

440 Maiden Lane (Building 35)

This is a two-story multiple-family Colonial Revival built in 1938. It is on the east side of Maiden Lane, four lots north of its intersection with Maple Street (NW¼ NW¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The building is on Lot 8 of Block 6 in Reaney’s Third Addition (Whitman County tax parcel 112400001080000). It is currently owned by Ralph Westermeyer of Bellevue, Washington. The address prior to 1972 was 1204 Maiden Lane.

The 1942 State College of Washington Campus Directory lists three of the early tenants of the house, including Arlene Holen, Florence E. Tweter, and Mary B. Anderson. All three women were stenographers for the college Extension Service.

The house contains six apartments and has a rectangular ground plan that covers 2,825 square feet. The roof is a cross-gable roof with close eaves, and is covered with composite asphalt shingles. There is a centered chimney with stretcher bond masonry. The walls are clad in replacement vinyl siding resembling clapboard. The foundation is poured concrete. An asphalt driveway runs along the southwest elevation and connects to an asphalt parking lot on the southeast elevation.

The primary, northwest, elevation faces Maiden Lane (Figure 49a). The foundation of this elevation is obscured by dense ivy. A single-leaf door with twelve lights and plain trim recessed approximately two feet into the elevation is in the center of the first story. This creates a covered entryway with a poured concrete stoop and stairs down to a concrete sidewalk. The door is flanked on either side by flush side panels with five lights each. There is a large single-sash twenty-light window on each side of the recessed entryway. All windows have simple wood trim. The second story contains two twenty-light windows and two eight-light windows that open on vertical hinges.

On the southwest elevation, the first one-third of the foundation is exposed poured concrete, while the back two-thirds are fronted by vinyl cladding (Figure 49b). In the foundation, there is one single-sash six-light window and two single-hung windows, along with a single-leaf door with nine lights and an additional pair of single-hung windows with mullion. The first story contains three large and two small single-hung windows, each with six lights in the top sash. The second story has two large and two small single-hung windows, each with six lights in the top sash, and there is a vent under the open gable. The right end of this elevation features a cutout on the second story, with a hip roof over the first story, and a single-hung window on the recessed portion of the southwest elevation.

The southeast, rear, elevation contains two single-hung windows in the foundation, two on the first level, and two on the second level; all but one of these windows has six lights in the top sash. There is a vent under the open gable (Figure 49b).

In the foundation of the northeast elevation, there are three single-hung windows with six lights in the top sash, one single-hung window, and one window that has been replaced by boards to accommodate a vent (Figure 49a). The first story contains four single-hung windows with six lights in the top sash, one slightly smaller than the others, and one window that has been boarded up to accommodate a vent. The second story contains four single-hung windows with six lights in the top sash, one smaller than the others. A poured concrete sidewalk runs along the right side of the northwest elevation.

Changes to the original windows in this buildings appear to be moderate. Most of the windows are covered with aluminum screens, though some of the original windows remain behind the screens. Changes to the cladding have been extensive. In 1989, a permit was issued to owner J&B Enterprises of Pullman to replace the gas water heaters. That same year, a permit for residing was issued to Janice and Robert Miller. The house was re-roofed in 2006. In 2008, present owner Ralph Westermeyer of Bellevue, Washington was issued a permit to demolish a detached garage on the property. Therefore, we recommend that the building is not eligible for listing in the National Register of Historic Places.



a



b

Figure 49. 440 Maiden Lane: (a) three-quarter view of the northeast and northwest elevations, view to azimuth 190°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 335°.

460 Maiden Lane (Building 36)

This is a two-story multiple family Colonial Revival built in 1928. It is located on the east side of Maiden Lane, three lots south of its intersection with Spaulding Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is on Lot 13 of Block 6 in Reaney's First Addition (Whitman County tax parcel 112300006130001). It is currently owned by Slocum Apartments, LLC of Pullman. It has been owned by Walter Slocum or relatives at least since 1966. The address prior to 1972 was 1208 Maiden Lane.

Some of the early residents of the building listed in the State College of Washington campus directories include Alfred Boyington (Instructor in Violin and Conductor of the College Orchestra), Earl H. Pritchard (Assistant Professor of History), Mae Pritchard (Assistant Supervisor of Rural Research), Alice S. Hurt (Secretary, General College Extension) in 1936; and Kermit Graves (Assistant Chemist), Harold W. Parker (Superintendent of Heat, Light, and Power Plant), and Virginia M. Hinds (Assistant, Correspondence Office) in 1942.

The house is divided into nine rental apartments. It is comprised of a rectangular primary building with a large addition on the southeast elevation that makes the overall ground plan irregular. The current ground plan that covers approximately 2,988 square feet. The primary building has a front-facing gable, as does the addition; the northeast elevation of the primary building adjoins the northeast elevation of the addition, but the southwest elevation of the addition is set farther back than that of the primary building. The roof of the primary building has close eaves, while the roof of the addition has slightly more projected eaves; both roofs are covered with composite asphalt shingles. There are several metal chimney pipes in the roofs of both parts of the building and one stretcher-bond brick chimney in the northeast slope of the primary roof. On the northwest and southeast elevations, the second story extends out over the first by less than one foot and has decorative knobs affixed to the overhang. The entire building is clad in wood shingles. The foundation is poured concrete.

The primary, northwest, elevation faces Maiden Lane (Figure 50). A modestly decorative poured concrete sidewalk leads to a partially enclosed porch at the left end of the northwest elevation. This porch is actually part of the northeast elevation, but is open at the northwest end. To the right of the porch opening, in the foundation level of the northwest elevation, there are two replacement horizontal sliding windows. The windows are mostly below the ground surface and open into subterranean alcoves with poured concrete retaining walls. The first story of this elevation has a slightly projected bay with a thirty-light window and an ornate wood surround. To the right of the bay is a single-hung window with six lights in the top sash. All windows on this elevation except for the bay window feature decorative wood shutters and simple wood trim and sill. The second story contains two single-hung windows and a vent under the gable.

On the southwest elevation, there is a partially covered entryway on the left end of the foundation and first level, and farther to the right there is a projected wing on the first level that creates coverage over a foundation level entry (Figure 51). Between these two structural features are two two-sash windows in the foundation level. In the partial enclosure created by the projected wing, there is a three-sash window in the foundation level, and then farther to the right on the primary building are a single-hung window with six lights in the top sash and a horizontally sliding window with four lights in each sash.

The first story of the southwest elevation contains an original single-leaf door with a large glass panel and an original screen door, which sit under a shed roof that creates a covered entryway. The roof is supported by simple wood pillars, is partially enclosed by wood railing, and is adjoined to side-facing wood stairs. To the right of the door is a pair of single-hung window, each with six

lights in the top sashes, and one horizontal sliding window. On the projected wing, which also has a shed roof, a large window facing the northwest has been boarded up, there is one horizontal sliding window facing the southwest, and there is one single-hung window facing the southeast. On the second story, there is one horizontal sliding window, two small and one large single-hung window, and one horizontal sliding window with four lights in each sash. All windows on this elevation have simple wood trim and sill; the second level windows also have decorative shutters.



Figure 50. Three-quarter view of the northeast and northwest elevations of the large, multi-family house at 460 Maiden Lane, view to azimuth 180°.

The southeast elevation of the primary building has one single-hung window in the foundation level, two single-hung windows in the first story, and two single-hung windows in the second story; all of these windows are replacements. Also on this elevation is the addition, which adjoins the primary building at the foundation level and extends out towards the southeast. The property is built into a hillside, allowing the addition to have its own full basement. As a result, the foundation level of the primary building is the first level of the addition. The southwest elevation of the addition has three entries on the first level (Figure 52). There are two standard size single-leaf doors with six lights (one retaining its original screen door). To the right of these doors are cupboard-like fixtures on the exterior of the building. The final single-leaf door, at the right end of the elevation, has six lights and is slightly narrower than the others. It also retains an original screen door and has a cupboard fixture to the left. Each door opens onto a poured concrete stoop with a wood hand railing.

Also on this level are two replacement single-hung windows. In the foundation level on this side of the addition, there are two horizontal sliding windows and one single-hung window, all of which appear to be replacements.



Figure 51. Southwest elevation of the original building at 460 Maiden Lane, view to azimuth 10°.

On the southeast elevation of the addition, the foundation level is fully exposed; the right side of the level is clad in wood shingles while the left side remains unadorned poured concrete. In this level there is a horizontal sliding window and two single-hung windows. The first level contains two single-hung windows and a vent under the gable. All windows on this elevation are replacements. Also on this elevation is a wood deck with railing that is accessible via wood stairs from the southwest, or from a poured concrete walkway that runs along the northeast elevation.

The northeast elevation of the addition features one replacement single-leaf door in the foundation level. Poured concrete stairs lead to the first level of the addition, but under the elevated walkway there is an additional horizontal sliding window in the foundation. In the first level, there is one replacement single-hung window and two original single-leaf doors with six lights; one of the doors retains its original screen door. Returning to the original building, the foundation level features a projected bay feature with a replacement single-hung window with eight lights in each sash. There are two replacement single-leaf doors to the right. The right two-thirds of this level are projected out to support the first level porch. In the foundation for the porch, there is a single-hung

window facing the southeast, and a single-hung window and horizontal sliding window facing the northeast; all windows are replacements. On the first level, there is a replacement single-hung window to the left of the porch. Under the shed roof porch is an original single-leaf door with fifteen lights, one single-hung window with six lights in the top sash, and one replacement single-leaf door with added aluminum screen door. The porch is partially enclosed by wood railing and the roof is supported by simple wood pillars. Poured concrete stairs with simple brick detail join the concrete porch floor to the sidewalk.



Figure 52. Southwest elevation of the addition at 460 Maiden Lane, view to azimuth 60°.

The original ground plan was extensively altered by the addition to the southeast elevation, though this is an old addition. It is shown on the 1929–1949 Sanborn map where it is labeled as an extension of the basement. Most of the original cladding appears to be intact, though there have been extensive changes to the windows (the first level retains more original windows than any other level). Changes to the doors appear to be slight. The house was re-roofed in 1990. In 2008, the house was again re-roofed and a permit was issued to remodel a bathroom, rebuild the deck at the rear of the house, and to remove a stairwell and incorporate the space into the remodeled bathroom. The alterations to the building plan, replacement windows, and replacement of the roof have resulted in substantial loss to integrity. Therefore, we recommend that the building is not eligible for listing on the National Register.

470 Maiden Lane (Building 37)

This one-and-one-half-story Tudor–Composite Multiple Family dwelling was built in 1930. It is located on the east side of Maiden Lane, two lots south of its intersection with Spaulding Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is on Lot 12 of Block 6 in Reaney’s First Addition (Whitman County tax parcel 112300006120001).

It is currently owned by Ralph Westermeyer of Bellevue, Washington. The address prior to 1972 was 1210 Maiden Lane.

Some of the early residents of the building listed in the State College of Washington campus directories include Carl F. Floe (Instructor in Metallurgy and Metallography) in 1932; Helen Broom (Clerk) and John C. Snyder (Extension Horticulturalist) in 1936; and C. B. Horston (Assistant Professor in Soils), L. B. Harston (Assistant Professor in Soils), and Lloyd R. Michels (Assistant Chemical Engineer) in 1942. City records indicate the house was owned by Tamara Ufkes of Richland, Washington in 1970. Robert L. Miller owned the house from 1981 at least through 2005.

The house contains two rental apartments and has an irregular ground plan that covers 1,549 square feet. The dominant roofline is a side facing gable with a front facing gable over a wing that is on the right end of the northwest (primary) elevation. The southwest slope of the front gable extends out to join the single-car garage. All of the rooflines feature close eaves, and the entire roof is covered with composite asphalt shingles. The building retains its original wood shingle cladding. The foundation is poured concrete. An attached single-car garage extends out from the southwest elevation of the house and is distinguished from the main roofline by a narrow front gable. The 1929–1949 Sanborn map indicates this not an addition, but was part of the original building.

The northwest, primary, elevation faces Maiden Lane (Figure 53a). A poured concrete sidewalk and broad stairs lead to an original single-leaf door with four lights. The door has decorative hinges and is made of wood paneling. The doorway has a decorative wood surround and a flat hood supported by wood consoles; the door sits in a projected wing that adjoins the front-gabled wing. This smaller entry wing also has a front-facing gable. To the left of the entryway is a large single-sash window on the portion of the house under the side gable. Between the wood and front door is a chimney made of stretcher-bond masonry and styled into four tiers. On the upper half-story, under the front gable, is a round window. At the far right end of the elevation is the front of the attached garage. As previously noted, the garage is distinguished from the main roofline by a narrow front gable. The garage door is missing.

The garage covers most of the first story and basement levels of the southwest elevation of the house (Figure 53b). The southwest elevation of the garage contains a four-light window. In the basement level, to the right of the garage, there is an original four-light window that opens on horizontal hinges. In the first story of the elevation, to the right of the garage, there is an original single-hung window with four lights in the top sash. The upper half-story contains a pair of single-hung windows with three lights in the top sash, and separated by a mullion. A vent is under the open gable.

The basement level of the southeast elevation contains three single-hung windows with four lights in the top sashes, plus an additional window opening that has been boarded up. These windows also retain the brackets for missing screens. The first story contains a single-hung window with four lights in the top sash, a horizontal sliding window, and two single-sash windows of different sizes. There are also two breaks in the cladding on this level that may have formally been part of windows.

On the northeast elevation, there are poured concrete stairs and a metal hand rail leading from the street level down through a concrete retaining wall to a foundation level entry. The single-leaf door with six lights has flush side panels with five lights each and simple wood trim. On either side of the door are single-sash four-light windows. The first story of this elevation contains two single-hung windows, one with four lights in the top sash and the other with six lights in the top sash. The upper half-story has a pair of single-hung windows with three lights in the top sash and separated by a wood mullion. There is also a vent under the open gable.



a



b

Figure 53. 470 Maiden Lane: (a) northwest elevation, view to azimuth 160°; (b) three-quarter view of the northwest and southwest elevations, view to azimuth 100°.

Some alterations have been made to the exterior of this building. The original ground plan, cladding, and doors appear to be intact. Moderate changes have been made to the original windows, mostly on the rear (southeast) elevation where windows have been removed. A remodeling permit was issued to Robert L. Miller in 1981. The house was re-roofed and a gas furnace replaced in 2005. The original roof was covered with wood shingles, which were present in 1949, as indicated on the Sanborn Fire Insurance Map. The window alterations and new roof have substantially compromised the integrity of the building. Therefore, we recommend that the building is not eligible for listing on National Register.

530 Maiden Lane (Building 23)

This one-story Arts and Crafts – Rustic/National Park dwelling is located on the east side of Maiden Lane, three lots south of its intersection with Ash Street (NW $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). This was originally built as a single-family log cabin in 1903. Extensive modifications have greatly increased the size of the building, which is now divided into multiple rental apartments for college students. The building is located on Lot 6 of Block 6 in Reaney's First Addition (Whitman County tax parcel 112300006050006). It is currently owned by Mary K. Ghirardo of Pullman. The address prior to 1972 was 1308 Maiden Lane.

The earliest person we can associate with the house is Mrs. D. Dargan. The 12 November 1915 *Pullman Herald* reported that the house was the scene of a party announcing the engagement of Viola Dargan (daughter of Mrs. D. Dargan) to Jas. Mulligan of Spokane. The following year, Mrs. Dargan sold her household goods and moved to Puyallup (*Pullman Herald*, 17 March 1916).

City of Pullman building permit records indicate the building was owned by John Wickliffe. This appears to be the beginning of a long history as a rental property. By 1971, the house had a new owner whose first name was Baldwin, but the last name is illegible on the record in the City's file. By 1976, the building had been acquired by Dennis Wimmer, who owned it at least through 1985.

The current building has a rectangular ground plan that covers 920 square feet. The roof is a front-facing low gable with projecting eaves and a boxed cornice. It is covered with asphalt composition shingles. All of the additions and part of the original log building have board-and-batten. The logs of the original cabin are full-peeled with round-V notching and have concrete chinking. The foundation is poured concrete and possibly some random rubble.

The primary, northwest, elevation faces Maiden Lane (Figure 54). The front yard is 3–4 feet below the street and sidewalk level, and is shored up by a poured concrete retaining wall. A poured concrete sidewalk and steps lead to a concrete patio that is partially covered by a low gable porch with a shiplap ceiling. The porch beneath the roof incorporates logs that are consistent with the logs that front the elevation. The patio is flanked with two poured concrete crawl space access points that have metal coverings. The front entrance is a replacement single-leaf door. Flanking the door on the right are two single-hung windows with log trim. The windows are replacements.

The southwest elevation, at the foundation level, has a single-sash window. The first story has an added doorway with a single-leaf door with plain trim (Figure 55, Figure 56). Below the door is a small covered poured concrete patio with a shiplap cladding overhang. The major support beams are exposed. To the right of the door is a projection that is probably an addition. A new single-hung window with plain trim is present on the northwest facing elevation of this project, next to the door. To the right of this is a two-sash horizontal sliding window. The rear half of the first story is a foot wider than the foundation, creating different depths on this elevation.



Figure 54. The northwest elevation of the building at 530 Maiden Lane, view to azimuth 95° (the front of the building is largely obscured by vegetation from a more direct angle).

The southeast (rear) elevation is an addition (Figure 56). The lower part of the elevation at the basement level is covered by poured concrete decorated to look like a brick veneer. This wraps around to cover the lower part of the northeast elevation of the addition. The basement level has a single-leaf door that is flanked on the left by a square single-sash window and on the right by two single-hung windows. The first story, above the basement, is divided into two equal halves with identical window-and-door arrangements. A wood balcony, divided in half by a wood partition, extends out from the elevation. On each side of the wall is a large single-sash with narrow flanking horizontal-sliding windows and a single-leaf door. There are two vents under the gable.

At least part of the foundation beneath the northeast elevation of the original log building appears to be rubble, but most of it is covered in stucco. There are no windows in the addition to the rear part of the building, but the original log portion contains a single-sash four-light window in the foundation. The first story on the original log cabin has two single-hung windows with log trim. The trim has a header and jambs of peeled half logs.



Figure 55. The northwest and southwest elevations of the building at 530 Maiden Lane, view to azimuth 70°.

This building has been significantly altered from its original log cabin configuration. The original ground plan has been extensively altered by the construction of additions and there have been moderate changes to the cladding on the original part of the building. Changes to the original windows and doors are extensive. City of Pullman records indicate that John Wickliffe divided the house into three units in 1954, and this appears to be the beginning of a long history as a rental property. A building permit application submitted by Wickliffe on 14 July 1954 called for the construction of a new foundation under the porch, cutting of three doors, closing one door, and making “minor repairs.” In 1976, this was one of several properties on Maiden Lane identified as “substandard housing” by City building inspectors. In 1985, Dennis Wimmer received a permit for “re-roofing, taking down addition, and remodeling 4 bedrooms.” This suggests an older addition to the back of the log cabin was demolished and replaced by the current addition. A sketch of the 1985 addition found in the City’s permitting files matches the current wooden deck on the southeast elevation of the building.

The integrity of the building has been substantially compromised by the additions, many changes to cladding, doors and windows, and by replacement of the roof. Therefore, we recommend that the building is not eligible for listing on the National Register of Historic Places.



Figure 56. Three-quarter view of the southwest and southeast elevations of the building at 530 Maiden Lane, view to azimuth 360°.

535 Maiden Lane, College Hill Apartments (Building 20)

This three story Modern Apartment Block built in 1965 is the most recently constructed building included in the inventory. It is located at the southwest corner of Maiden Lane and Ash Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The building is on Lots 7 and 8 of Block 4 in Reaney's Second Addition (Whitman County tax parcel 112350004070000). The apartment complex has been owned by either Mr. and Mrs. Ralph Templeton of Bellevue, Washington or Templeton Enterprises, LLC of Vancouver, Washington since its original construction. The address prior to 1972 was 1305 Maiden Lane.

According to the original building construction permit application, the building was designed by Moscow, Idaho architect Douglas W. Vicary. The building contains 20 apartments plus a laundry and has an asymmetrical, U-shaped ground plan that covers 8,902 square feet. There is a central courtyard between the wings of the building.

The northeast wing, adjacent to Ash Street, is slightly longer than the southwest wing on the other side of the courtyard. The building has low front-facing gables over the two wings and a side-facing gable over the back portion of the building. The eaves are projected and the roofing material is a composite shingle. The building is clad partially in stretcher bond brick veneer and partially in wood clapboard. The foundation is made of poured concrete and finished with stucco. The central courtyard is covered with white river cobbles and ornamental shrubs.

Beginning with the southeast elevation of the southwest wing, to the left of the courtyard and facing Maiden Lane, we find that all three stories feature a sliding glass door that opens onto a wood balcony with exposed support beams (Figure 57). Each balcony is partially enclosed by metal hand railings. Immediately to the right of the doors are windows with a large single-sash and a

smaller, narrow single-hung window. The foundation level of this elevation contains three covered parking spaces. The northeast elevation of the southwest wing, which faces the central courtyard, features a horizontally sliding window at the right end of the elevation on each story.



Figure 57. College Hill Apartments: three-quarter view of the southwest and southeast (facing Maiden Lane) elevations of the southwest wing (left) and the northeast wing (right) with a courtyard between the wings, view to azimuth 335°.

Continuing clockwise around the courtyard is the southeast elevation of the rear portion of the building. Again, all three stories are identical with each apartment unit featuring a single-leaf door with a storm screen. The doors are flanked on the left by a window containing a large single-sash on the left and a narrow single-hung on the right. To the right of the door is a larger window with a narrow single-hung on the left and a large single-sash on the right. Under this window is an air conditioning unit. Wooden walkways line the levels of this elevation, again with exposed support beams, simple wood pillars, and metal handrails.

Continuing clockwise, the next elevation is the southwest elevation of the northeast wing (Figure 57). This elevation also faces the interior courtyard. The apartment units again display the same pattern of window-door-window described for the previous elevation. Attached to the southeast corner of this wing is an enclosed stairwell with doors on all three levels. The door at the ground level of the stairwell opens to the southwest in front of the courtyard. A narrow three-sash window on the southeast elevation provides light to each of the three levels of the enclosed stairwell.

The southeast elevation of the northeast wing, which faces Maiden Lane, is connected to the enclosed stairwell by decorative metal screens that enclose the end of a breezeway. Each level on this elevation contains a window with a large sash on the left and a narrow single-hung window on the right.

The northeast elevation of the northeast wing faces Ash Street and features two styles of windows (Figure 58). The first is a tall, narrow window with a fixed sash in the middle and horizontal sliding windows above and below. The second type is a narrow horizontal sliding window. The three levels of this elevation are identical and feature the following pattern: two tall windows, two horizontal windows, four tall windows, two horizontal windows, and two tall windows. The foundation of this elevation is open for parking and is supported by simple metal pillars.



Figure 58. College Hill Apartments: three-quarter view of the northeast (facing Ash Street) and northwest elevations of the northeast wing, view to azimuth 155°.

The window configuration on the northwest, or back, elevation of the building are identical for each level. This elevation is broken by an off-center breezeway that separates the apartments in the northeast wing from those in the rest of the building. The northwest end of the breezeway is enclosed by a decorative metal grate or screen. To the left of the breezeway on each level is a window containing a large fixed-sash on the left and a narrow single-hung on the right. The windows to the right of the breezeway are the same two styles described for the northeast elevation of the northeast wing and follow an identical pattern on each level: two tall windows, two horizontal windows, and two tall windows.

The final elevation is the southwest elevation of the southwest wing. As with the previous elevation, this elevation is broken by an off-center breezeway that separates the apartments at the rear of the building from those at the eastern end of the wing. The foundation level left of the

breezeway contains two covered parking spaces beneath the building. A concrete and metal staircase to the right of the parking spaces provides access to the three levels of the building. Above the parking spaces, each of the three level features a window with a narrow single-hung window on the left and a fixed sash on the right. The three apartment levels to the right of the breezeway each contain a set of three horizontal sliding windows, each of a different size and proportion. The laundry room is located in the foundation level to the right of the breezeway and has a pair of windows that have fixed sashes in the middle and horizontally sliding sashes on either side. An asphalt parking lot runs along the southwest and part of the southeast elevations.

Alterations to the building include slight changes to the doors and moderate replacement of windows. City records indicate that a permit to “build covered deck and slabs” was issued in 1974. A new roof was installed in 1999. The building is 48 years old and contains no significant architectural characteristics. Therefore, we recommend that it is not eligible for listing on National Register.

540 Maiden Lane (Building 22)

This is a two-and-one-half-story Craftsman built in 1904 and is on the east side of Maiden Lane, two lots south of its intersection with Ash Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally built as a single-family dwelling, the house is now divided into multiple rental apartments. The house is on Lot 5 of Block 6 in Reaney’s First Addition (Whitman County tax parcel 112300006050004). It is currently owned by Dennis R. Wimmer of Pullman. The address prior to 1972 was 1308½ Maiden Lane. City records indicate the house was owned by Dan Dugan in 1953, though the ownership history prior to this is unknown. By 1976, the house had been acquired by current owner Dan Wimmer.

The house has a rectangular ground plan that covers 813 square feet. Because it is built into a steep hillside, only the upper one-and-one-half stories are visible on the primary (northwest) elevation that faces Maiden Lane. The building has a front-facing gable roof with projected eaves, and it is covered by wood shingles. The building is clad in vertical board-and-batten and the foundation is poured concrete.

On the northwest elevation, wood stairs lead to a partially enclosed and covered wood porch (Figure 59). The roof of the porch is a low hip, and is supported by wimple wood pillars. The half-wall that partially encloses the porch is made of horizontal wood planking, and the floor of the porch is made of wood planks. The base of the porch is elevated off of the ground, creating an accessible crawl space. Beneath the porch roof is a projected bay window with a horizontal sliding window in the middle and a narrow single-hung window on either side (the windows throughout the building feature no notable trim). To the right of the window is a replacement single-leaf door with simple wood trim. The upper half-story features a single-sash window.

The southwest elevation reveals that there has been an addition attached to the rear portion of the building (Figure 60). At the foundation level, the original building has a bare concrete foundation while the addition level has been fronted by the wood cladding. On the first level there has been an elevated walkway made of wood planking added, which wraps around the elevation and connects to a back porch. The first level also features two single-hung windows, a single-leaf door, and a large horizontally sliding window. On the upper level there is a small projection in the middle of the elevation. There is a small horizontal sliding window to the left of the projection, a three-sash window in the projection, and two more horizontal sliding window to the right of the projection.



Figure 59. 540 Maiden Lane: three-quarter view of the northeast and northwest elevations, view to azimuth 175°.

On the southeast elevation there is a single-leaf door and a horizontal sliding window in the foundation level (Figure 60). Porches supported by simple wood beams and surrounded by metal railings have been added to the first and second stories. The first story has centrally located single-leaf door flanked on each side by horizontal sliding windows. The second story has a horizontal sliding window, a two-leaf sliding glass door that enters on to the porch, and a three-sash window. All of these features are part of the addition to this elevation, which is covered by a low hip roof. The open gable of the primary roof line is still visible.

On the northeast elevation there are no notable features in the foundation level (Figure 59). The first story has a horizontal sliding window, a small single-hung window, and two slightly larger single-hung windows. The second story has a horizontal sliding window, a single-hung window, and a slightly smaller single-hung window. From this elevation there is no access to the street because a poured concrete retaining wall reaches up to the top of the first level of the home.

This was one of several properties to be classified by City building inspectors as “substandard housing” in the mid-1970s. Many of the alterations identified here appear to have been made since that time. These include a moderate change to the ground plan and extensive changes to the original cladding, windows, and doors. City permitting records indicate a new roof was installed in 1979. In 1982, a permit for the construction of a deck/sunroom addition was issued. Another permit for alterations and additions was issued in 1986. Notes on that permit detail the scope of these alterations: “repair and or replace front porch and wood walk; reside house with 1” x 8” cedar siding; add 22’ x 8’ sun room below existing upper addition and 6’ x 22’ deck; add 22’ x 8’ storage room below sun room.” In 2006, a permit was issued for repairs following a fire. These repairs were extensive and included the replacement of all drywall, insulation, and wiring from the lower and upper units as well as the replacement of exterior doors and handrails and siding on three elevations.

Because of the many replacements, additions, and alterations to the building, we recommend the building is not eligible for listing on National Register of Historic Places.



Figure 60. 540 Maiden Lane: three-quarter view of the southwest and southeast elevations, view to azimuth 10°.

550 Maiden Lane (Building 21)

This is a one-story with full basement Arts and Crafts – Craftsman built in 1910. It is located on the east side of Maiden Lane at the intersection with Ash Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house was originally a single-family dwelling, but has since been divided into multiple rental apartments. It is located on Lot 4 of Block 6 in Reaney’s First Addition (Whitman County tax parcel 112300006040002). It is currently owned by Dennis R. Wimmer of Pullman. The address prior to 1972 was 1310 Maiden Lane.

Whitman County Assessor records indicate the house was built in 1908. Advertisements printed in the *Pullman Herald* indicate the building was the location of “Mrs. Mack’s Hand Laundry” and the residence of Mr. and Mrs. J. E. (Mack) Chambers in the early 1920s. By 1975, the building had been acquired by current owner Dennis Wimmer.

The house has an irregular ground plan that covers 1,376 square feet. The roof is a partially hipped side-facing gable stoop covered with asphalt composition shingles. The walls are clad in wood clapboard and stucco. The foundation is poured concrete.

The primary, northwest elevation faces Maiden Lane (Figure 61a). Poured concrete steps, a retaining wall, and a walkway lead to the front door which is below ground level. The front door is a single-leaf six-panel replacement door surrounded by plain trim. Above the door is a pediment hood with exposed support beams, and wood shingles underneath gable. This hood has projecting eaves with a cornice fascia. To the right of the door is a three-sash window with an oversized middle sash and screens on the smaller sashes. To the right of this window is a single-hung window. Both windows have plain wood trim and lintel.

The southwest elevation has an extended wing with a saltbox roof and asphalt composition sheeting, made to look like brick. The roof has eaves projected and rafters exposed. On the wing is a pair of single-hung windows with plain trim, sill and wood mullion. The wing is supported by two plain wooden posts. The southwest elevation, outside of the wing, has stucco cladding covering original wood cladding. At the foundation level, under the wing, are remnants of the old clapboard siding and two boarded-up windows. To the south of the wing are two single-sash windows with plain trim and sill. The first story has a large single-sash window with plain trim and sill. The roof for the overall southwest elevation has eaves projected and rafters exposed. The south corner of the elevation rests on poured concrete pillars.

The southeast elevation, at basement level, has a plywood-covered crawlspace under the house. The basement story, at the south end, has three single-sash windows. One of the windows is missing glass; all have plain trim. To the right of the windows there is a replacement single-leaf door. To the right of the door are three single-sash windows with original glass and trim. Breaks in the cladding above the basement level indicates the first story originally had four vertical windows, though three of these have been replaced by two horizontal windows of different sizes. The replacement window at the south end of the elevation is a two-sash horizontal window. The central replacement window is three-sash window with an oversized middle sash that is approximately twice as large as the flanking sashes. To the right of this is another replacement window, though it is of the same size and configuration as the original window opening. It is a double-hung window, but the bottom sash is missing. There is a vent under the gable of the roof.

At the eastern end of the northeast elevation, there is a partially enclosed porch addition at the first story (Figure 61b). The porch addition is covered by a saltbox roof and is supported underneath by a poured concrete retaining wall that creates a walkway to a foundation entrance. The porch addition is partially clad in plywood. To the right of the porch addition is a covered doorway with a single-leaf door, which is not original. A projected wall with a pair of windows is to the right of the door. One of the windows is a single-sash, the other a single-hung window. Both have plain wood trim and lintel. To the right of the projection is a two-sash, horizontal sliding window with plain wood trim and lintel. The original cladding around this window is replaced by vertical flushboard.

This building has been significantly altered through the years. The ground plan has been moderately altered. Changes to the original cladding, windows, and doors are all extensive. In some cases, the replacement windows differ in size and configuration to the original window opening, requiring additional alterations to fill in the openings around the replacement windows. This was one of several properties to be classified by City building inspectors as “substandard housing” in the mid-1970s. Only one of the items detailed in the inspection report, however, suggested a structural alteration be made to the building. This was to “replace support post for the overhanging section of the main floor on the south west side of the building.” A permit to “firerate” the furnace area was issued in 1975. A permit for “apartment remodel” was issued in 1981. The building was re-roofed in 2012. Give the extensive alterations, we recommend that this building is not eligible for listing on the National Register.



a



b

Figure 61. 550 Maiden Lane: (a) northwest elevation, view to azimuth 90°; (b) northeast elevation, view to azimuth 185°.

Maple Street Building Descriptions

We inventoried 13 historic properties on the 300, 400, 500, and 600 blocks of Maple Street. Owners of 12 historic properties opted out of the historic building survey (at 310, 415, 440, 445, 505, 515, 643, 645, 655, 665, 675, and 685 Maple Street). There is one modern apartment complex in the inventory area, which is the northwestern corner of Maple and Ash streets (Figure 62). Overviews of the Maple Street survey area are in Figure 63, Figure 64, and Figure 65. The southern end of Maple Street is paved with red bricks in 1912–1913, which remain today (Figure 66) (see Historic Context above).



Figure 62. Modern Apartment complex at 605 Maple Street.

Maple Street Building Descriptions

300 Maple Street, Washington Court Apartments (Building 29) (DAHP No. 38-00409)

This is a two-story Craftsman style Multi-Story Apartment Block located on the east side of Maple Street at its intersection with Palouse Street (NW $\frac{1}{4}$ NW $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). This multi-family apartment building is located on Lot 6 of Block 31 of the original Pullman plat (Whitman County tax parcel 108150031060000). It is currently owned by Donald R. Wimmer and Sharon M. Shook of Pullman. The address prior to 1972 was 1100 Maple Street. The building was previously recorded by Mary Reed and Glen Lindeman on 5 June 1986 and was assigned DAHP No. 38-00409.

Announcement of the beginning of construction appeared in the 28 April 1916 issue of the *Pullman Herald*:



a



b

Figure 63. Overviews of the Maple Street survey area: (a) the former parsonage and Greystone Church on the 400 block, view to azimuth 170°; (b) the western side of the 400 block of Maple Street, view to azimuth 255°.



a



b

Figure 64. Overviews of the Maple Street survey area: (a) eastern side of the 600 block and the first hospital in Pullman (excluded), view to azimuth 80°; (b) intersection of Maple and Oak streets, view to azimuth 60°.



a



b

Figure 65. Overviews of the Maple Street survey area: (a) western side of the southern part of the 600 block, view to azimuth 350°; (b) western side of the northern part of the 600 block, view to azimuth 350°.



Figure 66. The remaining brick-paved portion on the 300 block of Maple Street, view to azimuth 210°.

Pullman's latest building enterprise is a two-story apartment house, approximately 40x60 feet, which will be constructed at the corner of Palouse and Star Route streets on College hill. Fred Boreman, local painter and contractor, is sponsor for the new enterprise, and has let the contract for the construction work to Thompson & Campbell, local contractors, who have just completed the alterations on the city hall. Work on the new building will commence today, weather permitting, and the structure will be ready for occupancy by early July. The building, which will cost approximately \$12,000, will be of two stories with a full basement. The basement will accommodate two apartments, and each floor will consist of three well arranged apartments, making eight suites of rooms in the building. The building will be of modern construction brick, stone and stucco, and each of the eight apartments will have modern fixtures, including bath and toilet, with the latest electric ranges for cooking. The entire building will be hot water heated and the best of furnishings will be installed, the apartments will provide much more room than is available in the ordinary flat.

According to an article that appeared in the 24 October 1919 *Pullman Herald*, the Washington Court Apartments were in great demand, noting that every apartment had been occupied since it opened and that there was a long waiting list of prospective tenants. The 1917 Washington State

College Campus Directory lists some of the first tenants in the apartment building, including Daisy B. Fowler, Elizabeth Jones, W. J. Potter, and G. C. Robinson. For a time, Fred Boreman apparently ran his painting business out of the Washington Court Apartments building. In numerous advertisements in the *Pullman Herald*, he characterized this work as “painting, paper hanging, calcimining, and interior decorating”. In 1918, he opened an automobile paint shop on Main Street.

The Boremans retired in 1920, selling the apartments to F. C. Forrest and Dan C. Downen (*Pullman Herald*, 26 March 1920). Four months later, Forrest and Downen sold the apartments to Herschel Hodges for a reported sum of \$18,500 (*Pullman Herald*, 2 July 1920). By 1953, the apartments were owned by Goldie Gilliam, who applied for a 40-ft. television antenna that year. A member of the Wimmer family has owned the apartments at least since 1980, when a permit for re-roofing was issued to Dennis Wimmer. City records list Vanessa Wimmer (Midway Property Management) as owner in 2009.

The building has a rectangular ground plan that covers 3,192 square feet. The roof is flat with plain boxed parapet, and is covered in an unknown material. The walls are primarily common bond brick, but the wing on the northwest elevation is covered in stucco. There is a side-left stretcher-bond chimney. The foundation beneath the main part of the building is poured concrete.

The primary, northwest, elevation faces Maple Street (Figure 67a). Poured concrete steps lead up to a porch with a dressed basalt foundation. The porch extends approximately eight feet from the building and is surrounded by an iron railing. The front entrance is double door (one panel and one large light per door) with plain trim. The doors pivot out and away from the center. On each side of the door there is a large one-sash window flanked by two double-hung two-sash windows with plain surround. These windows have a brick sill and arch radiating voussoirs. The second story above the porch is an added wing supported by two columns. The wing is built in an arcade recess style. The northwest elevation of the second story wing has six twelve-pane single-hung windows, and two twenty-pane windows. All windows have muntins. There are two quarter-round sashes at either end of the main line of windows. All of the main windows have a plain sill.

The southwest elevation of the main building has brick cladding on the first and second stories. There is a replacement door in the foundation which is a two-panel with one large light with moulded trim. The roof has a small projection toward the west end with boxed corners and exposed rafters. There is a modern addition at the rear of the building, which is made of wood shiplap cladding, which is recent. The roof is cornice-boxed and the first story has a two-sash mullion single-pane window, same type window as second story. The southwest elevation of the wing above the porch contains two horizontal sliding single-hung windows with twelve panes and a quarter-round with eight panes. Above the two horizontal sliding windows is a right-triangle window with wood muntins. All windows on the wing have plain trim and sill.

The main section of the southwest elevation at the foundation level has three horizontal vertical-sliding single-hung windows with muntins, plain trim, and a sloping concrete sill. All three have eight panes. One is two-thirds the size of the other two. The first story contains one vertical-sliding single-hung window with plain trim, a brick sill, and eighteen lights. There are also two sets of two double-hung windows of varying size. The larger has twelve panes, while the smaller has eight panes; each has muntins and wood mullion. From left to right, the second story has one two-sash double-hung window with eighteen panes and plain trim; one eight-pane double-hung with muntins and plain trim, one single-sash six-pane with muntins and plain trim; one two-sash double-hung with muntin, plain trim, and two lights; and one two-sash double-hung eight-pane with muntins and plain trim. All of the windows on the first and second stories have arch-radiating voussoirs, with brick sill.



a



b

Figure 67. The Washington Court Apartments: (a) northwest elevation, view to azimuth 125°; (b) three-quarter view of the southeast and northeast elevations, view to azimuth 260°.

The southeast elevation of the original building is covered by a modern addition that has a low hip roof (Figure 67b). The date when the addition was built is unknown, though the photograph attached to the existing SHPI form shows that it was present in 1986. The foundation (basement) level of the addition is open with plain support posts. There are two double-hung two-sash windows beneath the overhang. Each window has eight panes, plain trim, and a poured concrete slip sill. One of these windows is two-thirds the size of the other. There is also a plain wood door with plain trim. In the first story, the left side of the addition has a three-sash horizontal sliding window; the two side sashes are half the size of the middle. In the center of the elevation, there are two two-sash horizontal sliding windows with mullion. A two-sash horizontal sliding window with mullion is at the right end of the elevation. The second story of the addition contains two three-sash windows identical to those on the first story. There is also one window opening that is boarded up.

As with the windows on the southwest elevation, all of the windows on the northeast elevation have the arch-radiation voussoirs (Figure 67b). All windows on the first and second stories have brick slip sills. The foundation level contains four windows. One is a two-sash window with one pane covered by metal. To the right of this is a rectangular single-sash window with plain trim and concrete sill. Next is a two-sash window with plain trim (the left sash is boarded up with three vents in it). Finally, there is a two-sash horizontal sliding window with plain trim and a concrete sill. From left to right on the first story, the windows consist of a pair of double-hung two-sash with eight panes and wood mullion, a pair of double-hung two-sash with wood mullion and brick slip sill, and a single two-sash double-hung with plain trim and eighteen panes. The second story contains three two-sash double-hung windows with eight panes and plain trim, and a two-sash double-hung window with eighteen panes and plain trim. The windows on the front porch wing have the same window configuration as those listed in the southwest elevation.

This building has been significantly altered since its original construction in 1916. Construction of additions have moderately altered the original plan. Changes to the original cladding are slight, through changes both the original doors and windows are extensive. City records indicate the building was re-roofed in 1980 and extensively remodeled in 1986. Most of the 1986 alterations were to the addition at the rear of the building. This remodel entailed a significant alteration to the rear of the building and included the removal of existing siding and windows, installation of a waffle board sheathing, installation of four 8-x-4-ft windows and two 6-x-3-ft window, installation of footing and foundation between posts, and installation of 8-inch clear channel vertical siding. In 2009, a building permit was issued to Midway Property Management to “Remove old stairway. Enlarge apartments. Framing – insulation – electrical – sheetrock.” A boiler change was made in 2011 and some exterior remodeling was in progress when we recorded the building in May 2013.

The extensive alterations to windows and doors, changes in cladding and building plan, and replacement of the roof have led to substantial loss of integrity. Therefore, we recommend that the building is not eligible for listing on the National Register.

330 Maple Street (Building 30)

This is a two-story Colonial Revival built in 1946. It is on the east side of Maple Street three lots south of Whitman Street (NW¹/₄ NW¹/₄ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The building is located on Lot 3 of Block 31 of the original Pullman plat (Whitman County tax parcel 108150031030000). It is currently owned by Community Action Center. The address prior to 1972 was 1106 Maple Street.

The original owner of the building is unknown. City records indicate the house was owned by Claude K. Irwin, Jr. (Duthie Estate) by the late 1960s. In 1969, Irwin applied for a permit to construct “additional units to residential structure.” This was likely an alteration from a duplex to its

current four-unit configuration. The house was owned by O. W. and Bonnie Jean Sevedge of Moscow, Idaho by the mid-1980s. The Sevedges maintained ownership of the property through the early 1990s. The present owner (Community Action Center) acquired the property in the late 1990s.

This multi-family dwelling has a rectangular ground plan that covers 1,209 square feet. The roof is a low hip with a boxed cornice. The roof is covered in asphalt composition shingles, and clapboard is exposed underneath the cornice. There is a center-rear chimney that is brick stretcher-bond with a poured concrete top. The walls are clad in stretcher-bond brick. The foundation is poured concrete.

The northwest is the main elevation, which faces Maple Street (Figure 68a). A poured-concrete walkway leads to concrete steps with a metal railing. At the center of the elevation, there is a partially enclosed concrete porch covered by a gabled roof. The roof is supported by plain posts. On the porch are two four-panel doors with recessed fans and five-pane lights. The doors have plain trim and there is a line of vertical bricks above the door. At the foundation level, there are two single-sash windows with plain trim. At the first story, there are two single-sash windows with plain trim, brick slip sill, and a flat arch. The second story contains four single-hung windows with plain trim and brick slip sill.

The southwest elevation has a poured concrete retaining wall that extends west from the foundation. At the foundation level, there is one single-hung window with plain trim and a poured concrete slip sill. This window is single-sash. There is a coal chute at the eastern end. The windows on the first story all have plain trim, brick slip sill, and a flat arch. From left to right on the first story, there is a pair of two-sash double-hung windows with mullions, one two-sash double-hung window, and one two-sash double-hung window that is half the size of the previous window. The second story contains two two-sash double-hung windows with plain trim and a brick slip sill.

The southeast elevation has a poured concrete walkway that leads to a poured concrete patio. The foundation level of this elevation contains a single-sash window with plain trim, one two-sash double-hung window with plain trim, one single-sash with plain trim, and two plain doors. Both doors are replacements; one has a low concrete step. The central part of the first story has a partially enclosed balcony with a corniced boxed sloped soffit and shed roof supported by three wood posts. The balcony is clad in shiplap siding and is supported underneath by two metal poles. There are wood steps and a wood railing facing northeast that lead to the balcony. The first story contains four two-sash double-hung windows with plain trim and brick slip sill and two plain doors with plain trim. The second story has two single-sash windows with plain trim and brick slip sill and two two-sash double-hung windows with plain trim and brick slip sill.

On the northeast elevation, the foundation level contains one horizontal and one vertical single-sash window with plain trim (Figure 68b). The left half of the first story has one small and one large two-sash double-hung with plain trim, brick slip sill, and flat arch. The right half of the first story has a two-sash double-hung with mullion, plain trim, brick slip sill and flat arch. The second story contains two two-sash double-hung windows with plain trim and brick slip sill.

Changes to the original windows and doors are extensive. Although the original ground plan of the building has not been altered, City records indicate that interior alterations are significant. In 1969, owner Claude K. Irwin, Jr. applied for a permit to construct "additional units to residential structure." This was likely an alteration from a duplex to its current four-unit configuration. The building was re-roofed in 1992. The present owner (Community Action Center) made several alterations to the building in 1999. These include the installation of a new furnace, the replacement of aluminum windows with vinyl windows, and the installation of vinyl soffit and fascia.



a



b

Figure 68. 330 Maple Street: (a) northwest elevation, view to azimuth 130°; (b) three-quarter view of the northeast and northwest elevations, view to azimuth 165°.

The extensive changes to windows and doors, installation of vinyl soffit and fascia, and the new roof have resulted in substantial loss of integrity. Therefore, we recommend that the building is not eligible for listing on the National Register of Historic Places.

340 Maple Street, Pullman Christian Church/Palouse River Counseling Center (Building 31)

This is a two-story Modern – International style building located on the east side of Maple Street one lot south of Whitman Street (NW¼ NW¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The building was originally constructed in 1905 as the Pullman Christian Church, however it was later used by Simpson United Methodist Church as their “Wesley Foundation Building.” In 1977, a conditional use permit application was submitted by the Simpson United Methodist Church to use the building as a “Mental Health Center, Alcoholism Center, and Juvenile Center” called Harvest House. The building now serves as the Palouse River Counseling Center. The house on the adjacent lot to the north (400 Maiden Lane, Building 32) is now called Harvest House. The building is located on Lots 1 and 2 of Block 31 of the original Pullman plat (Whitman County tax parcel 108150031020000). The address prior to 1972 was 1108 Maple Street.

The original Christian Church was built in 1892 at the corner of Olsen and State streets. Throughout the first decade of its existence, the church’s congregation grew to a point where the small building, as the *Pullman Herald* reported on 10 September 1904, was “altogether inadequate for the work intended.” Plans for a larger building on Mechanics Hill (i.e. College Hill) were in the works. Earlier that year, Rev. W. G. Sargent and A. K. Finley toured several Oregon towns looking for ideas to incorporate into the architecture of the new church. They intended to “make the new church one of the handsomest structures in the west (*Pullman Herald*, 9 April 1904).” The spot chosen for the new building was on Star Route (Maple Street), the main thoroughfare between the downtown district and the college, near its intersection with Maiden Lane (Figure 69). A detailed description of the intended building was provided in the *Pullman Herald*:

It will be 60x67 feet on the ground and, as the location invites, a complete high basement ten feet in the clear is being built of concrete. This will provide a Sunday school auditorium and several large class rooms besides a library, kitchen and boiler and fuel room. A low-pressure steam heating plant will be installed to heat the entire building. There will be two main entrances to the basement on the north and south sides. The entrance to the main floor will be upon the west from a porch extending the entire width of the house, inclosed (*sic*) at either end for cloak and toilet room purposes. Two pair of double swing doors will admit to the foyer, which will be the full width of the building, save for the passages leading to cloak rooms and gallery stairs on either end. Several sets of swing doors will admit to the main auditorium, which will be nearly square seated with pews upon an inclined floor, a seating capacity of 464 being arranged for. The pulpit will be directly opposite the main entrances, with study and choir room on either side in the rear. The baptistery will be a model of convenience directly back of the pulpit and under the choir loft, shut from view by double slide doors and covered by floor upon rollers, which carry it into a rear passageway. Steps invisible to the audience will lead into the baptistery. The auditorium will be surrounded upon three sides with a gallery which seats 300 and the choir loft in the rear some three feet lower makes a practically continuous gallery. Space is arranged upon the right of the choir for a pipe organ to be installed later and upon the left for a choir assembly and music room. The entire auditorium will seat nearly 800 without extra chairs and everyone in full view of the platform. The windows will be large and ornamental, the roof plan, cruciform and the

general exterior effect semi-ecclesiastical. It is expected that the building will be inclosed (*sic*) this fall and pushed to completion this winter (*Pullman Herald*, 10 September 1904).

The new church was completed the following summer and dedicated on 11 June 1905. In the end, a few architectural elements from the first church on Olsen Street were incorporated into the new church on Maple Street. The most prominent of these was the large bell tower at the northwest corner of the building. Only the lower half of the tower, below the level of the bell, remains on the present building.

The building has a rectangular ground plan that covers 3,953 square feet. The current roof is most likely a low side gable; but the entire roof was not observable. Historic photographs show that the current configuration is radically different from the original church roof, which had steep cross gables and two towers with steep pyramid roofs. The present roof appears to be covered by ceramic tiles, though these are not visible from the ground. The building is now clad in stucco and brick veneer, but originally appears to have had clapboard siding over most of the building. The foundation is poured concrete. The lower half of the original bell tower is located at the northern end of the building, at the corner of the northwest and northeast elevations. The top of the tower was removed leaving a flat-top tower that extends above the extensively modified roofline.

The primary, northwest, elevation faces Maple Street (Figure 70a). There is a poured concrete walkway and steps and a poured concrete ramp with a metal railing that lead to a partially enclosed porch with a poured concrete foundation and a flat roof supported by eleven metal beams. The foundation level of this elevation contains three single-sash six-pane windows with wood mullions and two single-sash eight-windows with mullion. At the left side of the elevation, the first story contains a sixteen-pane single-sash with a partial window (meaning no trim) but plain slip sill. To the right of this are two twenty-pane single-sash windows with partial window—on this partial window, three panes on each side of the window open. These two windows are separated by a metal mullion. Continuing right, there is an eighteen-pane single-sash partial window then a fifteen-pane single-sash window, of which the right three panes open outward. Finally, at the right end of the elevation, there is a sixteen-pane single-sash window, where the three northernmost panes open outward. All the windows on this elevation have plain stucco slip sill with no trim. There are four single-sash twelve-pane windows with brick surround in the second story of this elevation. All of the windows have stretcher-bond brick details to either side.

At corner of the northwest and southwest elevations, there is a balcony between the foundation level and the first story that forms a covered porch over a side entrance. This balcony has a metal railing and metal support posts and is composed of poured concrete. It is not original to the building. A wood staircase with wood handrails and a new lattice extends up the southwest elevation from the balcony to the second story door. This staircase also is an addition.

The foundation level of the southwest elevation contains a door and seven windows. This is the only portion of the elevation that bears any resemblance to the original church building. Everything above the foundation level has been extensively altered. The placement of the door opening has not changed, but the door is a replacement. A single-light window on the left side of the door appears to be a more recent addition. To the right of the door are six single-sash windows with ten panes each (four panes are hinged to open on each window). This line of windows is visible in historic photographs of the church, but the present windows are replacements. Further to the right is a single-sash twenty-pane window that is also a replacement. The original window was the same size as the other six windows in the foundation, while the current replacement window is considerably larger. Finally, there is a plywood door at the right end of the elevation that is not original. All of the windows on the foundation level have poured concrete slip sill covered with stucco.

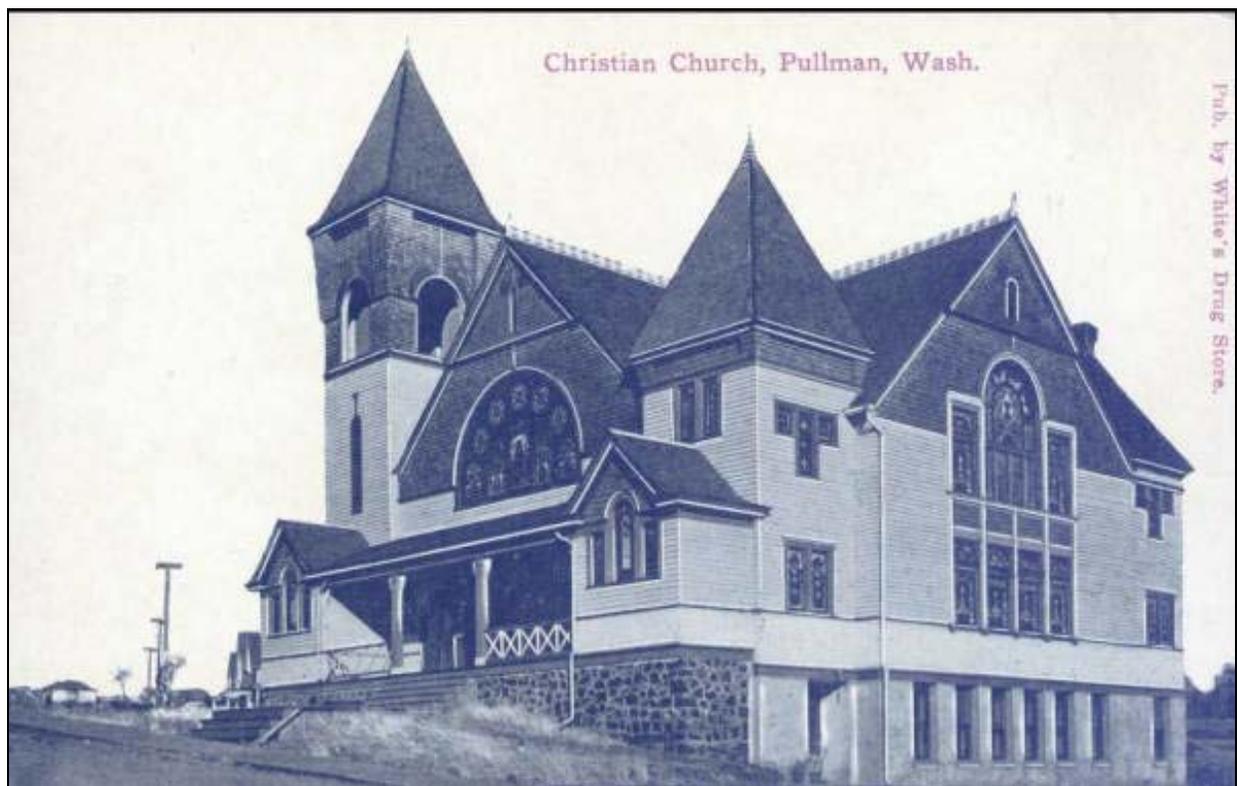
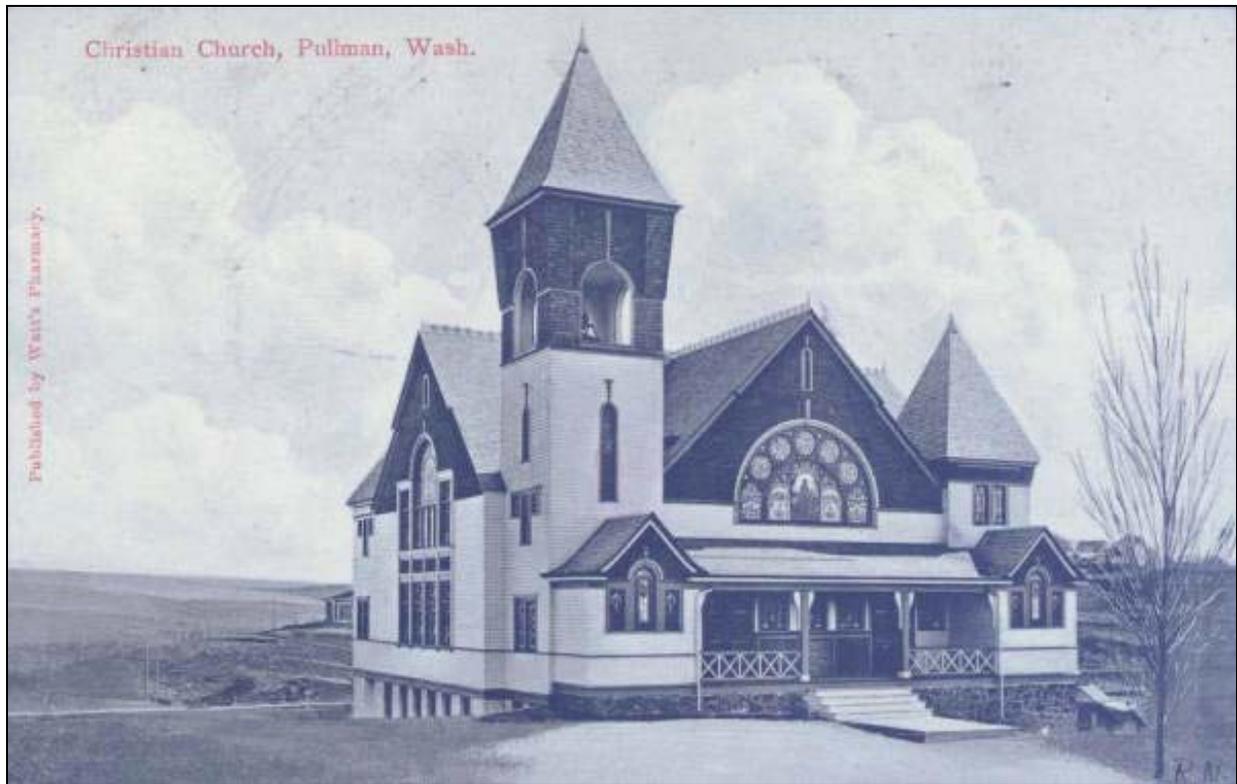


Figure 69. Photographs of the original Pullman Christian Church (Whitman County Historical Society).



a



b

Figure 70. 340 Maple Street: (a) northwest elevation, view to azimuth 125°; (b) northeast elevation, view to azimuth 180°.

There are three windows in the first story of the southwest elevation, none of which were present in the original church. One, above the balcony at the left end of the elevation, is a single-sash eight-pane partial window with a poured concrete slip sill. The other two, located at the opposite end of the elevation, are both two-sash, horizontal sliding windows with brick surround and poured concrete slip sill. The window on the left has etched glass.

We were unable to find a historic photograph showing the southeast (rear) elevation of the original church, though the distance from the easternmost window in the southwest elevation foundation to the present back of the building is greater than it is in the historic photographs. This indicates an extension to the rear of the building, which means none of the current features on the foundation level and first stories of the southeast elevation are original. The foundation level of this elevation contains a two-sash with mullion window (the north window is removed and replaced with a vent) to the left of a single-panel metal door with a poured concrete step (Figure 69). A poured concrete walkway extends from the door to a metal staircase that leads to the first story. Between the door and staircase, there are two two-sash, horizontal sliding windows with one pane larger than the other. These windows have plain trim with a poured concrete slip sill, and are inset approximately six inches. This inset is clad in wood veneer. Between the inset and the right end of the elevation, there are two two-sash partial windows with six panes, no trim, and a poured concrete slip sill. One of these windows is beneath the staircase. A two-sash horizontal sliding window is located at the left end of the first story. To the right of this are three horizontal sliding windows (two three-sash and one two-sash with no trim). Between the horizontal windows and a metal door at the far right end of the elevation is a two-sash double-hung window with wood vertical trim. All windows on this story have a poured concrete slip sill. The door has wood trim.

The foundation level of the northeast elevation has an L-shaped wood retaining wall and a poured concrete walkway that runs along the base of the wall below the ground level (Figure 70b). There is an old doorway that is covered with a wood veneer and five single-sash partial windows with ten lights, a poured concrete slip sill, and no trim. As with the southwest elevation, this elevation has been radically altered above the foundation level. None of the current features are original. Windows in the first story include one two-sash double-hung, one single-sash twelve-light partial window, one single-sash ten-light with no trim and no surround, and two large single-sash windows flanking a three-sash vertical window. All windows on this story have a concrete slip sill. The second story features a round single-sash center window with nine panes that are stained glass with a brick surround. The patio on the right side of the elevation has a northeast-facing replacement double door with two lights and plain trim.

The original church building has undergone significant alterations through the years which have radically changed the exterior appearance of the building. Aside from the configuration of windows and door in the foundation level of the southwest elevation and the lower portion of the original bell tower, there is little resemblance between the present building and the original church constructed in 1905. The outline of the church shown on the 1929–1949 Sanborn fire insurance map is labeled “foundation only” which suggests that most of the alterations to the building occurred before 1949. In 1965, a permit was issued to “remodel [the] Wesley Foundation bldg.” City records also indicate frequent alterations and remodeling throughout the last two decades. In 1996, gas pipe and a commercial cook stove were installed and a nonbearing wall was removed. Three years later, rotted fascia and soffit were replaced. The stucco sign in front of the building was installed in 2004. In 2005, work was completed on the gas furnace, electrical air conditioning system, and an enclosed porch. The basement was remodeled in 2010 and involved the completion of a new reception area. Therefore, we recommend the building is not eligible for the National Register.



Figure 71. The southeast elevation of the Pullman Christian Church/Palouse River Counseling Center at 340 Maple Street, view to azimuth 300°.

435 Maple Street (Building 27)

This is a two-story Colonial Revival built in 1912. It is located on the west side of Maple Street, two lots south of Spaulding Street (NW¼ NW¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally built as a single-family dwelling in 1912, the house is now divided into five rental apartments. Three of the apartments have two bedrooms, the other two have a single bedroom. The house is on Lot 1 of Block 34 of the original Pullman plat (Whitman County tax parcel 112350002020003). It is currently owned by Slocum Apartments LLC and is featured on the company's home web page (<http://www.slocumapartments.com/htmlver/index.php>). It has been owned by Walter Slocum or associated company since the 1960s. Numerous photographs of the building interior can be found on this web site. The address of the building prior to 1972 was 1207 Maple Street.

The house has an irregular ground plan that covers 1,974 square feet. The roof is an asymmetrical side-facing offset gable, and is covered by composite asphalt shingles. The elevations are clad with wood shingle and clapboard siding. Clapboard primarily covers the first story, while wood shingles cover the second story and the skirt between stories. There are two chimneys. One is exposed on the southwest elevation and constructed of stretcher-bond brick; the other is center-northwest and is a single-stack structure bond. The foundation is poured concrete.

The southeast, primary, elevation faces Maple Street (Figure 72a). A poured concrete walkway with steps leads from the street to the front entrance. A second concrete walkway extends to the driveway that runs along the northeast elevation of the house. The front entrance features poured concrete steps and stoop flanked and supported by brick. There is a large single-leaf door with three top lights; the door and hardware appear to be original. Flanking the door are side panels with four

lights each, and above it is a decorative header and pedimented hood. Pilasters flank both sides of door. The first story, left of the door, has a large single-sash, thirty-light window flanked by narrow single-hung windows with nine top and nine bottom lights. These have basic trim and wood mullions. To the right of the door, there is a set of four single-hung windows, with nine top and nine bottom lights. These windows have simple wood trim and mullions. The second story of this elevation has a wide dormer with a shed roof. Four single-hung windows are in the dormer. Two are original with nine top lights. The other two are replacements with six lights. All have simple wood trim. Gutters are added on this elevation.

The northeast elevation has breaks in the foundation at the east end which are covered up. The foundation level has three single-sash, two-light windows and a single-sash three-light window. The glass in the foundation windows is covered with paint. Starting at the left side of the elevation, the first story contains a set of three single-hung windows with nine top and nine bottom lights, with wood trim and mullions. Continuing right, there is a large window with a large sash on bottom, decorative glass sash on top, and decorative muntins. To the right of this window there is a slight projection with a narrow-hip roof. This projection has a two-sash window with plain trim on bottom and decoration on top. This is flanked by a single-hung window with nine top lights. To the right of the projection, there is a large window with twelve lights on the top sash and a horizontal sliding two-sash bottom window. At the far right end of the elevation, there is a small projected entryway. Side-facing wood steps lead to a wooden stoop. The entryway is covered by a shed roof and pedimented hood over the stairs leading to the stoop. Beneath the covered entryway, there is a narrow four-leg window and a storm door with six top lights and a bottom panel with etched and frosted glass light over the transom. There also is a door facing the southeast that has six top lights and three panels on the bottom. The hardware is replacement, but the door is original and has a plain surround and original doorbells. To the right of the entryway projection, there is a horizontal sliding two-sash window and a single-hung window with nine top lights. The second story of this elevation has three replacement single-hung windows with plain wood trim, a pair of single-hung windows with wood mullion (also replacements), and a set of three single-sash windows with wood mullion. There is a vent under the gable.

On the northwest elevation, at the first story, there is a single-leaf door which is partially replaced and a light above the transom. There is a wing projected off the primary facade which is two stories high. It has a front gable roof with projected eaves and a boxed cornice. On the northeast facing side of this projection, there are two horizontal sliding two-sash windows and a poured concrete walkway extends around the projection to the southwest elevation. The second story has an original single-hung window with nine top lights to the left of the wing, and a replacement single-hung window with single-sash flanking windows on the wing.

The southwest elevation, at the foundation level, contains an opening beneath the projected wing at the rear of the house that is boarded up (Figure 72b). The foundation of this elevation also contains four single-sash two-light windows with a poured concrete sill, and a sixteen-light window. From left to right across the elevation, the first story features a pair of replacement single-hung windows with wood mullion and brackets for missing screens. To the right, there is a single-leaf door and a replacement screen door. A new wood porch and stairs extends from the ground level up to the door. The back quarter of the west end of this elevation is set back from the rest of the elevation. At the west end of the projection and facing northwest, there is a replacement single-hung window. Continuing right along the elevation, there are two small projected sections supported by consoles. Both projections have a shallow hip roof. On the first projection there are two single-hung windows. The second projection has two single-sash windows with eighteen lights. This particular projection is flanked on either side by a single-hung window with nine top lights.



a



b

Figure 72. 435 Maple Street: (a) southeast elevation, view to azimuth 300°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 330°.



Figure 73. Southwest elevation of the house at 435 Maple Street, view to azimuth 30°;

Finally, there is a single-sash window to the left of the chimneys. The chimney is constructed of stretcher-bond brick. The second story of this elevation features a replacement horizontal sliding two-sash window and an original single-sash nine-light window on the recessed area at the rear of the house. Continuing to the right, there is a horizontal sliding two-sash window and a single-hung window with nine top lights and bracket for a missing screen. In the middle of the elevation there is a large two-sash window with a plain sash on bottom and decorative on top. This window also has brackets for a missing screen. To the right of the chimney, there is a single-sash eight-light window. Finally, there is a vent under the gable.

The plan and cladding appear to be intact or only minimally altered, and there have been slight changes to the door. However, most of the original windows have been replaced and the photographs posted on the Slocum Apartments website show the interior has been extensively altered. City records show that a building permit to remodel multi-family units was issued in 1965. This permit indicates the alterations made in 1965 increased the number of apartments from three to the present five-unit configuration. This remodeling was completed by Guy Pitts. A new roof was installed in 1999. In 2010, City building inspectors noted that “the north side foundation, steps, roof, and support column are sagging.” That year, a permit was issued to “rebuild porch deck and stairs” (undoubtedly a reference to the new porch and stairs at the rear of the southwest elevation). In 2012, a permit was issued to “replace concrete steps with wood and Trex [a wood-alternative composite].” The building has been extensively altered and we recommend that it is not eligible for listing on the National Register of Historic Places.

500 Maple Street (Building 25)

This is a two-story Arts and Crafts – Craftsman built in 1925. It is located at the northeast corner of Maple and Spaulding streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle,

1:24,000, 1964/1975). This single-family dwelling is located on the south half of Lot 3 on Block 4 in Reaney's Second Addition (Whitman County tax parcel 112350004030002). It is currently owned by Uniquity LLC. The address before 1972 was 1300 Maple Street.

The house has a rectangular ground plan covering 2,419 square feet with a poured concrete foundation. The roof is a side-facing gable with eaves projected and rafters exposed. The open end of the gable is supported by decorative brackets. The roof is standing-seam metal. Walls are clad primarily with wood shingles. There is a white frieze between the first and second stories.

The northwest elevation is the main elevation and faces Maple Street (Figure 74a). A poured concrete walkway leads to straight wood stairs and a partially enclosed porch with a wooden railing. There is a single-leaf door on the porch that faces the southwest. The elevation is divided into thirds by a central projection that is approximately ten feet wide. The foundation level has openings for identical windows in each third of the elevation. The original windows (single-sash windows with four lights) remain in two of the opening but is missing in the opening beneath the porch. From left to right across the elevation, the first story contains a single-hung window, single-sash window. In the middle of this elevation, there is a projected section, approximately ten feet long, two single-hung windows (in the projection), and a single-sash window. On the porch, there is a single-hung window, with the top sash smaller than the bottom. Above the projected section, but slightly wider, is a shed-roof dormer with two two-sash horizontal sliding windows. The windows on the foundation and first story appear to be original. The second story windows are replacements.

The foundation of the southwest elevation contains two single-sash, three-light windows with simple wood trim and sill (Figure 74b, Figure 75). There are exposed crawl spaces under the corners of this elevation that are supported by poured concrete pillars. The first story has a middle projection that is approximately ten feet wide and contains two small single-sash windows flanking a larger single-hung window, with a smaller sash on top. To the right of the projection is a side-by-side single-sash window with wood mullion. Over the projection is a shed roof awning with eaves projected and rafters exposed. The second story has a two-sash horizontal sliding window. All of the windows of this elevation have simple wood trim and sill.

The southeast elevation has two single-sash windows with four lights at foundation level (Figure 75). The left window has one pane replaced by wood to accommodate a vent. The right window has a missing muntin. On the first story (from L to R), there is a set of three single-sash windows with wood mullions, a single-sash window, and three single-hung windows (one about two-thirds the size of the other two). There is a small addition with shed roof at the northern end of the elevation. The addition is supported by wood posts on poured concrete and brick foundation. It is clad in wood boards on the northeast elevation and wood shingles on the southwest and southeast elevations.

The northeast elevation at foundation level has two openings that are boarded up. The first story has a single-sash window, a replacement single-leaf door, and a horizontal sliding two-sash window. The second story has a two-sash horizontal sliding window with four lights on top and sixteen lights on bottom. At the east end of this elevation there is a poured concrete retaining wall.

Most of the original cladding remains, though other elements of the building have been altered. The ground plan has been slightly altered by the addition to the southeast elevation. Changes to the original windows appears to be moderate and changes to the original doors are extensive. City records indicate that a partial re-roof occurred in 1979 when the owner was Inez Stephenson. The present metal roof as installed in 2005, by which time the property was owned by Eric Whettam of Seattle. The addition and other alterations, especially replacement of the roof, have resulted in substantial loss of integrity. Therefore, we recommend that the building is not eligible for the National Register.



a



b

Figure 74. 500 Maple Street: (a) northwest elevation, view to azimuth 120°; (b) southwest elevation, view to azimuth 30°.



Figure 75. 500 Maple Street: three-quarter view of the southwest and southeast elevations, view to azimuth 345°.

510 Maple Street (Building 24)

This is a one-story Modern–Minimal Traditional built in 1936. It is located on the east side of Maple, one-half block north of Spaulding Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally built as a single-family dwelling, the house is now divided into two rental apartments. The house is located on the north half of Lot 3 on Block 4 in Reaney’s Second Addition (Whitman County tax parcel 112350004030001). It is currently owned by Family Value Real Estate LLC of Tulalip, Washington. The address prior to 1972 was 1302 Maple Street. Two previous owners were identified including Annabelle Schmidt who owned the property in the 1960s and Donna Kalahar of Woodinville, Washington who acquired the property in the late 1990s.

The house has an irregular ground plan that covers 888 square feet. The most prominent roofline is a side-facing gable. Left of center on the primary (northwest) elevation is a wing that incorporates the front entryway. Over this wing is a front-facing gable that connects on the right to a front-sloping shed roof over the entryway. All rooflines feature close eaves. The roof is covered with composite asphalt shingles. There is a chimney made of stretcher bond masonry with a header fixture in the center of the northwest slope of the side gable roof. There is also an added gutter system. The walls are clad with wood shingles and the foundation is poured concrete. Around the southwest and southeast elevations there is a wood picket fence.

The northwest elevation faces Maple Street and is the primary elevation (Figure 76, Figure 77a). A poured concrete sidewalk and stairs lead to the front entry to the house. The single-leaf front door has a light on top and a decorative panel on the bottom, an aluminum storm door, and a decorative surround. The door sits in a wing that is projected from the rest of the building. Also in this wing, to

the left of the door, is a large single-sash, twenty-four light window with simple wood trim; all of the windows share this simple trim. To the right of the door, on the southwest facing side of the wing, is a single-hung window. On the northwest elevation of the primary building are a single-hung window on the first level and a horizontal sliding window in the foundation.

The southwest elevation has two single-hung windows and a small single-sash window in the first level (Figure 77a). A pair of single-sash windows separated by a wood mullion and a single-hung window are in the foundation.



Figure 76. 510 Maple Street: the northwest, primary elevation, view to azimuth 1200°.

The southeast elevation features two single-hung windows in the foundation level to the left of a single-leaf door that accesses the basement apartment. This door has nine lights in the top and a panel on the bottom and is covered by a shed roof hood. A small single-sash window is right of the door. On the first level there are three single-hung windows and a smaller horizontal sliding window.

The northeast elevation has a small wing that is projected from the primary building and creates an enclosed entryway for a side door, which is covered by a side facing gable roof (Figure 77b). There is a single-hung window on the northeast elevation of this covered entryway, while the screen door faces northwest and is met by wood stairs with a metal hand railing. The foundation level of the projected section is partially open. On the northeast elevation of the primary building there is a small single-sash window in the foundation level and a single-hung window in the first level.



a



b

Figure 77. 510 Maple Street: (a) three-quarter view of the northwest and southwest elevations, view to azimuth 85°; (b) northeast elevation, view to azimuth 160°.

A two-car detached garage is located behind the house. The garage has a medium hip roof, flush board cladding, and a poured concrete foundation. The overhead garage doors on the northeast elevation are vinyl replacements. On the northwest elevation there is a single-leaf door that is not original. There is an addition to the southwest elevation of the garage, which according to City records was constructed in 1964 when Annabelle Schmidt owned the property. This addition has a shed roof that extends down from the original hip roof. On this elevation there is a single-sash window. There are no notable features on the southeast elevation of the garage.

The ground plan of the original building is intact and the original doors remain, however there have been slight changes to the original cladding and extensive changes to the windows and roof. Most of the original windows appear to have been replaced. A new roof was installed in 1999. Because of the loss of integrity, we recommend the building is not eligible for listing on the National Register.

520 Maple Street (Building 19)

This is a two-story Tudor Composite located on the east side of Maple, one-half block south of Ash Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally a single-family dwelling, the house is now divided into three rental apartments. The house is located on the south half of Lot 4 on Block 4 in Reaney's Second Addition (Whitman County tax parcel 112350004050002). It is currently owned by John Chapman and Anita Hornback. The address prior to 1972 was 1304 Maple Street.

The build date given in the Whitman County Assessor records is 1933, however the same building shown on the 1929–1949 Sanborn map is also shown on the 1929 Sanborn without modification; the building plan shown on these maps is identical to that of the present building. This suggests the present house was built at least by 1929. The Washington State College campus directories list several different residents between 1932 and 1942. Two residents, John McCoy (Assistant Professor of Veterinary Medicine) and William T. McDermitt (Head of the Department of Fine Arts), are listed as residents in 1932. Three residents are listed in 1936, including K. E. Fitzsimmons (Instructor in Physics), Winfield Sylvester (Technician, Physics Department), and Haakan Bang (Instructor in Pharmacy). Bang continued to live at this residence at least through 1942, when John McCoy is again listed as a resident.

The house has an irregular ground plan that covers 1,896 square feet. The roof is a cross gable with boxed cornice and a narrow fascia. All of the walls are clad in stucco and the foundation is poured concrete.

The northwest elevation faces Maple Street (Figure 78). A concrete sidewalk leads from the street to a set of poured concrete steps and stoop at the front door. The door is a single leaf with vertical flushboard and pronounced metal hinges that are original. The rest of the original hardware has been replaced, except for an original mail slot. The door is an arched semi-circular opening, above which is a small light. To the right of the door on the first story is a large single-sash six-light window with plain trim. On the left side of the entryway, facing northeast, there is a narrow single-sash three-light window. A pair of single-hung windows separated by a wood mullion is located at the far left side of the elevation. Both windows have four lights on top and four lights on bottom. The second story of the northwest elevation has a single-hung window with four top lights and four bottom lights. All windows are original with added storm screens.



a



b

Figure 78. 520 Maple Street: (a) northwest elevation, view to azimuth 120°; (b) three-quarter view of the northeast and northwest elevations, view to azimuth 200°.

The southwest elevation features a center-right chimney made of stretcher-bond brick. A coal chute is located in the foundation to the left of the chimney base. To the right of the chimney, also in the foundation, is a single-sash three-light window. One light has been replaced by metal sheet to accommodate a vent. In the first story of this elevation, to the left of the chimney, is a single-hung window with four top lights and four bottom lights. A projected entryway with a poured concrete stoop is located to the right of the chimney. The doorway has a hip-roofed hood and consoles. The door is a single leaf with three panels on bottom and six lights on top. The second story has a pair of single-hung windows that have four lights on top and four lights on bottom with wood mullion. There is a vent beneath the side-facing gable.

The southeast elevation has poured concrete steps that lead to a basement-level entry door, which is an addition. Also at the foundation level are two horizontal sliding two-sash windows with no trim. The first story of this elevation has a horizontal sliding two-sash replacement window with missing screen and a pair of single-hung windows separated by wood mullion. The windows have six top lights and six bottom lights. To the right of the pair of windows is another single-hung window with the same configuration of lights. The second story features a dormer with shed roof. A single-hung window with four top lights and two bottom lights is located right of center in the dormer. This window is flanked on each side by a single horizontal two-sash window with six top lights and six bottom lights. A pipe extends from the top in the dormer roof.

The northeast elevation, at the foundation level, has two single-sash windows with three lights and no trim (Figure 78b). There are two single-sash windows with six top lights and six bottom lights in the first story. The second story has a set of three single-hung windows with four top lights and four bottom lights, with wood mullions. There is a wood-trimmed attic vent under the gable roof.

Behind the house is a detached two-car garage clad with concrete/asbestos shingle siding. The garage has a flat roof and poured concrete foundation. Two openings for vehicles are present on the southwest elevation. No doors are present. The northeast elevation has a side-by-side single-sash wood mullion window with plain trim. The northwest elevation has a single-leaf door with four panels and a plain surround and a single-sash window with plain trim and sill. There are no notable features on the southeast elevation.

Alterations to the original building include slight changes to the cladding and doors, and moderate changes to the windows. The house interior is divided into three apartments and is now listed as a triplex in City records. In 1963, a permit for work on the open deck porch on the southwest elevation was issued to Lawrence Fletcher. In 1970, owner Paul Wadleigh was permitted to add one unit. A new roof was installed the following year. A certificate of occupancy was issued to Robert Austin in 1984. A new furnace was installed in 1999 and the house was re-roofed in 2003. Alterations and installation of a new roof has compromised the historic integrity of the building. Therefore, we recommend that it is not eligible for listing on the National Register.

530 Maple Street (Building 18)

This is a two-story Modern style house located at the southeast corner of Maple and Ash streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is located on the north half of Lot 4 on Block 4 in Reaney's Second Addition (Whitman County tax parcel 112350004050001). It is currently owned by Gary and Linda Walton. The address prior to 1972 was 1306 Maple Street.

Whitman County Assessor records indicate this house was built in 1904, though the architectural style suggests a more recent build date. The Washington State College campus directories list L. W.

Elder (Assistant Professor of English) as a resident at this address in 1910 and Lucille E. Stover (Library Catalog Assistant) as a resident in 1936. City records indicate the house was owned by E. E. Rowland from the 1960s through at least the mid-1970s. In 1996, the house was owned by Palouse Empire Rentals. An inspection conducted by the City in February of that year determined that the basement did not meet the minimum code requirements for a habitable space. The current owners acquired the property by 2007.

The house has a rectangular ground plan that covers 1,842 square feet. The roof is a front-facing gable and boxed cornice and is covered in asphalt composition shingles. A new gutter system has been added relatively recently. Two single-stacked chimneys with stretcher-bond masonry extend from the top of the gable. The center chimney has a poured concrete fixture on top. The walls are clad with horizontal metal aluminum siding. The foundation is made of coursed rubble-dressed basalt, though the stone is covered by poured concrete on the northwest elevation.

The northwest elevation, which faces Maple Street, is the primary elevation. A poured concrete walkway leads to a poured concrete stoop, which has wood pillars and side-facing wood consoles that support the second story, which projects one foot over the lower half of this elevation. The front door is an original single leaf with vertical wood flush board. The door has a small light at top center, which is covered by a metal decorative grate. The hardware in the door also is original. There is an original storm door with eight lights on top and a panel on the bottom, though the hardware on the storm door is not original. There is an added light fixture to the right of the door. At the foundation level, there is a single-sash twenty-light window flanked by single-hung windows with wood mullions. To the right of this window is another single-hung window with nine lights on bottom and six on top. The second story has a recessed bank of windows with a single-hung window flanked by two half-size single-hung windows.

The southwest elevation, at the foundation level, has two recessed openings for windows. One is boarded up while the other has a two-sash window (one sash is replaced by plywood to accommodate a vent). The first story has a large thirty-light single-sash window and two single-hung windows with a slightly smaller single-hung window on the wing. The eastern part of the first floor elevation is recessed. The second story features a hip roof dormer with side-by-side single-hung windows separated by wood mullion.

The southeast, or rear elevation has a single-hung window on the left side of the first story. To the right of this is a single-hung window then a single-leaf door with three panels on the bottom and a large light on top. The door has replacement hardware. Side-facing wood stairs flanked by a partial metal railing lead to the back door. The wing on this elevation has a shed roof, covered by standing seam metal. The second story has two recessed windows; each is a single-hung window with a small vent under the gable. The carport, which extends out from this elevation was added in 1974.

The northeast elevation has a projected bay of windows with a two-sash at the center, flanked by single-sash two-pane windows. The east end of this elevation has two single-hung windows with plain trim. At the center is one small single-sash window with twenty-four lights. A poured concrete sidewalk and stairs leads to a foundation-level entrance with a replacement door.

Although changes to the plan, windows, and doors are slight, changes to the original cladding are extensive. City records indicate the siding was replaced and a gas furnace installed in 1982. The house was re-roofed again in 1974 and again in 2007. We recommend that the building is not eligible for listing on the National Register because of the extensive changes to cladding and the roof.



a



b

Figure 79. 530 Maple Street: (a) northwest elevation, view to azimuth 120°; (b) northeast elevation, view to azimuth 210°.

615 Maple Street (Building 1)

This is a two-story Arts and Crafts – Craftsman located on the west side of Maple, one-half block north of Ash Street (NW $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally built as a single-family dwelling in 1908, the house is now divided into three rental apartments. The house is located on Lot 1 of Block 6 in Reaney's Second Addition (Whitman County tax parcel 112350006030001). It is currently owned by David C. Knuff of Pullman. The address prior to 1972 was 1403 Maple Street.

Professor Charles A. Barry occupied the house in 1910 (*Pullman Herald*, 10 June 1910) and may have been the initial inhabitant. Barry, who spoke 16 languages, was considered a pioneer member of the Washington State College faculty and served as head of the Modern Languages Department. He had previously served as chief of interpreters at the world's fair and president of the Columbia International Association of Interpreters (*Pullman Herald*, 7 July 1893). After leaving SCW, he emerged from convalescence to become acting president of Whitworth College in Spokane. Barry died at age 64 in 1921. Barry sold the house to Professor George Severance in 1919. Severance was a member of the SCW faculty for 28 years, serving as Head of the Department of Agriculture from 1908–1910 and 1913–1917, and Director of the SCW Experiment Station from 1917–1919. The 1932 Campus Directory lists Harry C. Weller (Assistant Professor of Architectural Engineering) as the resident that year. The person with the longest tenure in this house was Marjorie Pratt, who became the owner in 1937 and continued living here almost continually for the next 72 years (Munch-Rotolo 2010:6).

The house has a rectangular ground plan that covers 2,580 square feet. The roof is a front-facing gable with projecting eaves and rafters exposed around all four sides of the first and second stories and is clad in composite shingles. The front facing eaves have a fascia and triangular brackets. A chimney constructed of stretcher bond masonry is left of center. The first story exterior is clad in clapboard siding with the second story clad in cement stucco; the stucco is not original. The rear section of the second floor on the northwest side is enclosed with plywood cladding. The house rests on a dressed basalt rubble random foundation.

The southeast elevation faces Maple Street (Figure 80a). This elevation features an open porch with plain post support and is partially enclosed on the south. Six poured concrete steps lead to the verandah and a poured concrete walk leads from the street and around the northeast elevation. In the porch is an off-center door with plain lintel and a vertical beveled light on top of door. Above the door is a centered second story balcony set into the hipped roof of the porch. The foundation on this elevation has two single-sash windows. To the left of the door is a single-sash window with sidelights that are double-hung, and to the right is a single-sash window. Above the porch are two single-sash windows with wood muntins and two two-sash windows. In the attic is a single-sash with four lights. All windows on southeast elevation have plain wood trim and slip sills.

On the northeast elevation, there is a horizontal two-sash window and a vertical two-sash window on the foundation; both have new storm windows (Figure 80a). The ground floor features a horizontal two-sash casement, a vertical two-sash casement with new storm windows, a two-sash with new storm windows, and a single-sash casement. The second story features a vertical two-sash window with new storm window and panes for a horizontal two-sash window, but the glass has been removed. The back porch has been enclosed and the foundation fronted by a false wall with horizontal clapboard siding.



a



b

Figure 80. 615 Maple Street: (a) three-quarter view of the southeast and northeast elevations, view to azimuth 285°; (b) northwest elevation, view to azimuth 120°.

The northwest elevation has a recently added accessibility ramp that connects to a set of wooden stairs supported by a poured concrete foundation, all of which are additions (Figure 80b). The original porch is closed off and covered with added horizontal clapboard siding and fronted by an added aluminum storm window. The foundation level is covered by poured concrete and has poured concrete stairs that lead to an entryway. The foundation level has an original single-sash window. The first story has a two-sash window, a small horizontal two-sash window, a single-sash, and a two pane horizontal sliding window. The second story has two vertical single-sash windows, one two-thirds scale. The attic has a single-sash with four panes. All windows on this elevation have plain trim and slip sill.

The southwest elevation has a bay in the back half and a fence bordering the adjacent property. The first floor has four two-sash windows, and the bay has two small and one large two-sash window, with the large window broken but the surrounding intact. The second story in the center has a two-sash windows flanked by the single-sash on each side.

Some alterations to the building exterior have been made over the years. Changes to the building plan, cladding, and doors are slight, but the majority of the windows appear to have been replaced. A television antenna was installed on the roof in 1954. Slight changes have been made to the plan, cladding, windows and doors. A new roof was installed in 1995. In 1999, the front steps and back deck were replaced with Trex® (a wood-alternative composite). The new steps and deck were built to the same dimensions as the originals. The basement was remodeled by current owner David Knuff in 2013. The building has lost a substantial amount of integrity in aggregate due to changes in plan, cladding, roof, and windows. Therefore, we recommend the property is not eligible for listing on the National Register.

620 Maple Street (Building 5)

This is a one-and-one-half-story Queen Anne – Cottage built in 1904. It is located on the east side of Maple, one-half block south of Oak Street (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is located on the south half of Lot 7 on Block 5 in Reaney's Second Addition (Whitman County tax parcel 112350005070000). It is currently owned by the Wallace Trust. The address prior to 1972 was 1404 Maple Street.

We identified three early owners/occupants from classified advertisements placed in the *Pullman Herald* and the 1917 Washington State College Campus Directory: a Mrs. Michaelson lived here in July 1911, M. K. Snyder was here in 1917, and J. C. Clarke resided here in June 1919. By August 1920, the house was being used as the parsonage of the Christian Church and was occupied by new Pastor H. J. Reynolds and his wife (*Pullman Herald*, 27 August 1920, 10 September 1920). The Reynolds appear to have occupied the residence through 1923. Reynolds officiated at many graduations, weddings, and memorial services, and the house on Maple Street was frequently a meeting place of the Women's Missionary Society and the Willing Workers. Reynolds also led an inter-church war relief effort. In 1922, Reynolds spoke somewhat controversially on the topic of the Ku Klux Klan and shortly thereafter resigned as pastor of the church.

Little is known about the occupancy of the house from the 1920s to 1964, when Pullman City records show that it was owned by Ray Scott. Robert Wallace became owner of the house in the 1970s. Wallace served as an instructor of economics at 11 different colleges and universities from 1935 to 1983, including Punjab University in Lahore, Pakistan and Bangalore University in India. He enlisted in the United States Navy in 1942, eventually achieving the rank of Lieutenant Commander. He and his family moved to Pullman in 1947 to teach economics at Washington State College. Wallace was an avid outdoorsman and wrote numerous articles for various hunting journals. He passed away in April 2005 and was buried in the I.O.O.F cemetery in Pullman with full

military honors (*Moscow Pullman Daily News*, 5 April 2005:4A). The house is still owned by the Wallace Trust.

This single-family dwelling has an irregular ground plan that covers 1,136 square feet. The roof is asphalt composition shingles and has close eaves. There is a stretcher-bond chimney where the northwest wing meets the main part of the building. Wall cladding is clapboard, approximately 40 percent of which is original. The foundation is dressed basalt in a coursed rubble pattern. A poured concrete sidewalk leads to the poured concrete entryway.

The northwest elevation, which faces Maple Street, has a north and west wing. The north wing has two double-hung windows with mullion and a decorated lintel and plain slip sill. The main structure has a large single-sash window with plain trim and slip sill. The west wing has two double-hung casements with mullion, and the space between the primary and west wing is enclosed with a side sloping shed roof.

The southwest elevation has a medium gable face and decorative shingles on gable. The cladding appears original on the southwest elevation. The wing window is double-hung with a decorated lintel and plain slip sill. On the primary structure there is a single-sash with plain trim and slip sill, and two horizontal screen windows.

The southeast elevation has a wing connected by an enclosed porch with a shed roof and metal sheeting. The southeast wing and porch foundation is cinderblock with a crawl space. There is a screen window and side-facing stairs to the southeast. The primary southeast structure has a skirt on the ground level to wing which is replaced, and to the east there is a horizontally sliding casement with plain lintel and slip sill, and a vent at the half-story attic level.

The northeast elevation has a vent at the joiner pipe to the southeast wing. On the ground level there is a double-hung casement with decorated lintel and plain slip sill. There are decorative shingles on the gable with an attic vent. The cladding on this elevation does not appear to be original.

This house has been significantly altered from its original state. As noted above, more than half of the original cladding on this building has been replaced. Changes to the doors are also extensive. The original ground plan has been moderately altered, while changes to windows appear to be slight. Pullman City records indicate that Robert Wallace was issued a permit for piping alteration in 1976. A permit for conversion to 200 amp electrical service as also issued in the 1970s (the date on the record is illegible). The house was re-roofed in 1981 and again in 2005. Therefore, we recommend the property is not eligible for listing on the National Register.

625 Maple Street (Building 2) (DAHP No. 38-00419)

This is a two-story Colonial Revival, which was built in 1930 according to assessor records. The building is on the 1929 Sanborn Fire Insurance map, however. It is located on the west side of Maple, one-half block south of Oak Street (NW $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). The house is located on the south half of Lot 8 of Block 6 in Reaney's Second Addition-Schmelzer Short Plat (Whitman County tax parcel 112350006080002). It is currently owned by Barry and Michelle Johnston. The address prior to 1972 was 1405 Maple Street. The property was already included in the Historic Property Inventory Database as legacy data (DAHP No. 38-00419), though no architectural details are provided on the existing form.



a



b

Figure 81. 620 Maple Street: (a) three-quarter view of the northwest and southwest elevations, view to azimuth 80°; (b) southeast elevation, view to azimuth 308°.

The house has a rectangular ground plan with wings that covers 2,295 square feet. The composite shingle roof is a high side-facing gable with a plain boxed cornice. The exterior is common bond red brick with the front facing shed dormer and wings covered in stucco. There is a common bond brick chimney at the northwest elevation to the right of center, and there is an added gutter system at the second story level.

The southeast elevation faces Maple Street (Figure 82). The southern portion of this elevation has a projecting wing with a low gable roof and features a vertical two-sash eight pane window flanked by two, two-sash four pane windows with plain trim and wooden slip sill. The gable-roofed portico is offset to the right corner and has a suspended light. The supporting columns have detail and the portico roof interior horizontal planking. A four-panel door with two top lights and a lion head knocker lies below a semi-circle arch with plain surround. A poured concrete walk leads to the portico which is composed of four brick stairs topped with tile resembling brick, and a poured concrete driveway is on the Southwest elevation. On the first story, there is a vertical two-sash eight-pane window flanked by two four-pane with shutters and flat arch vertical joint surround. The second-story dormer has three vertical two-sash, equally spaced windows; the top sash has six panes and all windows have decorative shutters and plain lintel.

The northeast foundation has four three-pane single-sash windows with a flat arch vertical joint sill (Figure 82b). The top of the foundation has a vertical joint brick detail. Left of center on the first-story there is a single-sash stained glass window, and right of center there is a vertical two-sash eight top panes flanked by two vertical two-sash windows with four top panes. The second-story has three vertical two-sash windows with eight top panes. Above the windows is an attic vent with horizontal slats.

The northwest elevation foundation has four windows of three single-sash three pane flat arch vertical jointed sill. The first story has a dormer with a front facing shed roof with three vertical two-sash with six top pane windows, and a small vent chimney. The wing has a bay with three vertical two-sash six-pane windows. There is a stained glass door and a screen door, both of which appear to be original. To the west of the door there is a vertical two-sash three-pane window. A poured concrete walk leads from the southwest side to a single poured concrete step below the door.

The southwest elevation at the foundation level has a coal chute. At the first story, the wing has three two-sash windows that are flanked by two vertical two-sash windows. All windows on the wing have decorated lintels. The brick cladding on the first story has vertical two-sash windows, and the second story has a two-sash and one vertical two-sash windows. All brick cladding windows have flat arch vertical joint surround, and a flat arch vertical joint sill.

A two car detached garage sits on the property facing the southeast with new garage doors and weathervane. The walls are corrugated metal roof over wood shakes. The southwest and northeast elevations have two single-sash windows with lintel. The northwest elevation has two single-sash windows with detached lintel surround.

The original plan is intact and the cladding, windows, and doors are mostly original. Pullman City records indicate a permit for electrical wiring was issued to Donald Proctor in 1968. The following year the house was re-roofed. In 1973, a permit was issued to owners Douglas and Nora K. "Kristin" Kunkel for installation of an outside light. The Kunkels maintained ownership at least through 1984, though at that time they resided in Juneau, Alaska. Permits issued to the Kunkels included one for a new furnace in 1976, a kitchen and bath remodel in 1977, construction of the swimming pool in the back yard in 1978, and a basement remodel in 1980. In 2010, a permit was issued to present owner Barry Johnston for re-roofing and gutters.



a



b

Figure 82. 625 Maple Street: (a) primary, southeast elevation, view to azimuth 300°; (b) three-quarter view of the southeast and northeast elevations, view to azimuth 270°.

According to the 1929 and 1949 Sanborn maps, the original roof was composition. Though new, the present roof is composition. Though there is an added gutter system, this is a small change that does not significantly alter the building's historic integrity. The remaining exterior characteristics are original. The construction dates to a period when Washington State College was expanding and College Hill development expanded with the college. Therefore, we recommend that this property is eligible for listing on the National Register of Historic Places under Criterion C.

635 Maple Street, Main House (Building 3)

This is a one-and-one-half-story Arts and Crafts – Craftsman built in 1904. It is located at the southwest corner of Maple and Oak streets (NW¼ NE¼ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). Originally a single-family dwelling, the house is now divided into multiple rental apartments. The house is located on the north half of Lot 8 of Block 6 in Reaney's Second Addition-Schmelzer Short Plat (Whitman County tax parcel 112350006080001). It is currently owned by Allen and Jerriann Schmelzer of Spokane. The address prior to 1972 was 1407 Maple Street.

A plaque on the front door identifies this building as the former home of Osmer L. Waller, vice president of Washington State College. Originally from Ohio, Waller moved to Washington sometime around 1890. In 1893, he was appointed Professor of Mathematics and Civil Engineering at the newly established Washington Agricultural College in Pullman, despite having a limited knowledge of advanced mathematics or engineering. As a result of his limited technical expertise, many of Waller's subsequent positions at the college were administrative rather than instructional. These included Dean of Arts and Sciences and College Vice-President. During the term of Governor Marion Hay (1909–1913), Waller was appointed head of a commission to codify Washington state water laws. Later, he was named Secretary of the Columbia Basin Survey Commission and was one of the most vocal opponents to the construction of Grand Coulee Dam. Waller passed away in 1935 (<http://ntserver1.wsulibs.wsu.edu/masc/finders/cg222.htm>). Washington State College campus directories indicate Waller resided here from at least 1910 to 1932 (and probably until his death in 1935). The 1936 directory lists Louis Maddox (Extension Animal Husbandman) as resident. City of Pullman records indicate the house was owned by Ray Nagel in 1971 and Nancy Whitehead and Jack Jenkins of Davenport, Iowa in 1987.

The house has a rectangular ground plan that covers 2,742 square feet. The roof is covered in wood shakes and the primary roof is a medium hip with eaves projected and rafters exposed, with a low hip roof over the porch. It has a gutter system. The building sits on a random rubble basalt foundation and is clad in wood shingles. There is a two-stack, center left chimney and the stacks are linked at the base. The front-facing elevation has a balcony above the porch roof covered by a shed roof supported by plain posts.

The southeast elevation, which faces Maple Street, features an open porch right of center that has a hanging light fixture and flat wood planking ceiling (Figure 83). An enclosed porch is left of the door and features ventilation breaks on the southwest, southeast, and northeast elevations. A brick walkway leads to the poured concrete porch topped with red tile and the door is a plain-surround single-leaf two-panel with four stained glass lights. The enclosed porch has a second entrance flanked by two single-sash twelve pane windows, and the southeast elevation has three side-by-side single-sash twelve pane windows with bull nose in the upper right and left corners. These windows have a wooden slip sill but no trim. The east section of the elevation has a bay with three windows; the center window is a two-sash with the top sash having six panes. This center window is flanked by two double twelve-pane windows. The balcony has two double-hung windows with eight lights equally spaced and the door is same as the front door on the first story but left of center.



a



b

Figure 83. 635 Maple Street: (a) primary, southeast elevation, view to azimuth 300°; (b) three-quarter view of the southwest and southeast elevations, view to azimuth 350°.

The northeast foundation has two large single-sash windows on the corners of the elevation, and a centered single-sash window with eight panes. On the ground level there is a large single-sash window to the southeast, to the northwest there is one single-sash double-hung window with eight panes, and two single-sash double-hung windows with fifteen panes. There is also a small projection approximately three by twelve feet from the primary façade supported by three pairs of scrolled brackets. On the half-story, there is a break in the wood shingles above the first story and the primary roof is broken by two windows covered by shed roofs. At this elevation there is a double-hung window with a top sash of eight panes. The brick walkway continues on this side of the house, surrounding a brick patio which has four poured concrete semi-circular stairs, and the walkway continues to the outbuilding in the back yard (see Building 4).

The northwest elevation has a poured concrete patio with decorative iron fencing, and dressed basalt stairs and walkway into the backyard (). At the north end ground level there is a door to the patio, and to the west of the house there is a two-sash window with mullion, with one sash being double the size of the other. Further to the west is a double-hung casement with the top sash having six panes and the bottom made of stained glass. The interior and screen door appear to be original and all windows on this elevation have plain trim and slip sill. At the west end there is a projection, in the northeast elevation of the projection there is a single-leaf door with four panel, an added pet door, and transom flush and blinds. The addition has two three-sash windows with wood mullion, and the top corners of outside sashes are bullnose, and the addition has a low-hip roof with new gutters.



Figure 84. 635 Maple Street: the northwest elevation and back yard, view to azimuth 115°.

The southwest elevation has a brick walkway extending down the elevation to the sidewalk. The foundation level has a small opening at the west end, two large windows, the left of which is broken with a covering storm window while the right is a single-sash eight pane and one small square

single-sash four pane window. Finally, at the center there is an eight pane single-sash flanked by two two-pane single-sash windows. There is a projected bay at the southeast end of the southwest elevation. The porch on this elevation has three three-sash windows with mullions, and each sash has twelve panes; the upper left pane of the left sash and the upper right pane of the right sash are bullnose. The ground level at the bay has a double-hung window with an eight-pane top sash, flanked by two double-hung windows with six panes in the top sash. To the left of the bay there are two double-hung windows with the top sash having eight panes. The back addition has one six-sash window with mullions. At the half-story there are two dormers with a shed roof. The dormer to the left has two double-hung four-pane windows and the right has a double-hung with an eight-pane top sash.

This house retains much of its architectural integrity. The plan, cladding, and doors appear to be intact. The majority of windows appear to be original, but replacement screens and aluminum storm windows are throughout. Permitted alterations to the house include a new roof in 1969, a remodel that included alterations to interior outlets and lighting in 1971, and a new gas furnace in 2007. This large house marks an early period of residential expansion on College Hill. The building is a largely intact example of the Arts and Crafts architectural movement. Therefore, we recommend that it is eligible for listing on the National Register of Historic Places.

635 Maple Street, Outbuilding (Building 4)

This is a two-story Arts and Crafts – Craftsman style agricultural outbuilding located at the southwest corner of Maple and Oak streets (NW $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 5, T. 14 N., R. 45 E., Pullman quadrangle, 1:24,000, 1964/1975). It is located behind the main residence at 635 Maple (see Building 3) and appears to have been built around the same time (1904). It is shown on the 1908 Sanborn map as a stable and on the 1929 map as an auto garage, but it is now used for storage. The building covers 625 square feet on Lot 6 of Block 6 in Reaney's Second Addition-Schmelzer Short Plat (Whitman County tax parcel 112350006080001). It is currently owned by Allen and Jerriann Schmelzer of Spokane.

The building is set against the hill slope so that the second story is at ground level on the higher, southeast side. It has a rectangular ground plan with an addition on the northwest elevation. The foundation is poured concrete. The walls are clad with replacement horizontal wood planking on the southwest and southeast elevations. The northeast and northwest elevations are clad with shiplap that appears to be original. The roof is asphalt composition shingles and a side gable with projecting eaves and exposed rafters. The original wood shake roof was removed. Aluminum gutters have been added and there is buckling on the first and second stories.

The southeast elevation has a poured concrete driveway leading to the walk-in door that is left of center (Figure 85a). The door is a single panel with a single light and plain trim. To the south is a horizontal sliding plain trim window. This elevation has been extensively modified, changing the building from a garage to its present configuration. The northeast elevation has a single-pane rectangular window. The dressed basalt walkway from the main house (Building 3) connects to the northwest elevation and joins with a poured concrete patio below a solid wooden door. This door has a hand-forged latch and plain trim and slip sill. The ground level of the northwest elevation has a single-sash window and the second story has two single-sash eight-pane windows with mullions. The southwest elevation at the ground level has a two-sash window with vertical mullion and plain trim and slip sill. At the second story is a single-sash four pane window, and a boarded opening next to the addition (Figure 85b).



a



b

Figure 85. 635 Maple Street outbuilding: (a) southeast elevation, view to azimuth 308°; (b) southwest elevation, view to azimuth 70°.

Alterations to the original stable include changes to the ground plan, roof, cladding, and windows. These alterations have substantially degraded the integrity of the building. Therefore, we recommend the building is not eligible for listing on the National Register.

Conclusions and Management Recommendations

We summarize changes to building plans, cladding, windows, and doors in Table 8. These are the major characteristics that reflect the architectural integrity. The important aspects or qualities of integrity include design, materials, and workmanship. Whenever a building is altered by additions that change the building plan, or by replacement or alterations of windows, doors, cladding, and roofs, the historic integrity of that building is decreased. The National Register requires that properties possess integrity of design, materials, and workmanship. These are critical aspects of integrity that are used in evaluating whether buildings are eligible for listing on the National Register under Criterion C, Design, Construction, and Work of a Master (Townsend et al. 1993).

The use and original combinations of certain materials in construction reflect the original preferences of the architects and builders, and can reveal availability of types of materials and technologies. When windows, doors, or cladding are replaced, these important aspects of integrity are lost. Workmanship and design reflects the skills of builders and architects. Alterations to buildings removes the integrity of workmanship and design (Townsend et al. 1993:19). Therefore, changes to building plans, cladding, windows, and doors can each lead to loss of integrity sufficient to lead us to recommend that a building is not eligible for listing on the National Register.

Though buildings with only slight alterations may retain most of the historic integrity, most buildings in this inventory have extensive alterations. This has led to a significant loss in integrity in most inventoried properties. Extensive replacements of windows or roofs can lead to a recommendation that the building is not eligible, even if the rest of the building is intact. Only three buildings remain largely intact. These are the houses at 625 Maple Street, 635 Maple Street, and 410 Spaulding Street. All other building have lost a substantial amount of integrity.

We list the architectural styles, year of construction, and National Register eligibility recommendations for the 36 inventoried building in Table 9. We recommend that three historic properties are eligible for listing on the National Register under Criterion C, Design, Construction, and Work of a Master. The are the houses at 410 Spaulding Street, 625 Maple Street, and 635 Maple Street. We recommend that one historic property, a 1908 Art and Crafts – Craftsman at 455 Campus, is eligible for the National Register under Criterion B, Important Persons. Several people of local and national prominence owned and lived at the house. These include R. W. Thatcher, an important agricultural scientist. and James S. Klemgard, a Palouse pioneer who arrived in 1882 and went on to become a stockholder in the Pullman State Bank, agricultural researcher, and acting master of the state grange.

Thus, we recommend that three historic properties are eligible of list on the National Register under Criterion C and we recommend that one historic property is eligible for listing on the National Register under Criterion B, though that house has extensive modifications to windows and doors. We recommend that 32 of 36 inventoried historic properties are not eligible for listing on the National Register. Many of the buildings in the survey area were not inventoried because owners opted out of the inventory. Therefore, based on present information we recommend that that the inventory area is not eligible for listing on the national Register as a District. Though we recommend that most buildings are not eligible for the National Register, many may meet the criteria for listing on the Pullman Historic Register. We encourage homeowners to submit nominations to the local historic register.

Table 8. Summary of Building Modifications.

Building	Address	Changes to Ground Plan	Changes to Cladding	Changes to Windows	Changes to Doors
1	615 Maple St.	slight	slight	extensive	slight
2	625 Maple St.	intact	intact	intact	intact
3	635 Maple St.	intact	intact	slight	intact
4	635 Maple St.	slight	moderate	slight	moderate
5	620 Maple St.	moderate	extensive	slight	extensive
6	405 Oak St.	intact	intact	extensive	intact
7	415 Oak St.	slight	intact	extensive	extensive
8	635 Opal St.	moderate	slight	extensive	extensive
9	450 Oak St.	slight	moderate	extensive	slight
10	450 Oak St.	extensive	intact	extensive	extensive
12	675 Opal St.	intact	intact	extensive	extensive
13	455 Campus St.	slight	extensive	extensive	extensive
14	445 Campus St.	intact	slight	extensive	extensive
15	450 Campus St.	intact	intact	extensive	slight
16	440 Ash St.	slight	moderate	extensive	moderate
17	400 Ash St.	moderate	intact	slight	moderate
18	530 Maple St.	slight	extensive	slight	slight
19	520 Maple St.	intact	slight	moderate	slight
20	535 Maiden Ln.	intact	intact	moderate	slight
21	550 Maiden Ln.	moderate	extensive	extensive	extensive
22	540 Maiden Ln.	moderate	extensive	extensive	extensive
23	530 Maiden Ln.	extensive	moderate	extensive	extensive
24	510 Maple St.	intact	slight	extensive	intact
25	500 Maple St.	slight	intact	moderate	extensive
26	410 Spaulding St.	intact	intact	slight	intact
27	435 Maple St.	intact	intact	extensive	slight
28	625 Opal St.	slight	intact	moderate	slight
29	300 Maple St.	moderate	slight	extensive	extensive
30	330 Maple St.	intact	intact	extensive	extensive
31	340 Maple St.	extensive	extensive	extensive	extensive
32	400 Maiden Ln.	slight	moderate	moderate	extensive
33	410 Maiden Ln.	extensive	extensive	intact	intact
34	430 Maiden Ln.	extensive	extensive	moderate	extensive
35	440 Maiden Ln.	intact	extensive	moderate	intact
36	460 Maiden Ln.	extensive	slights	extensive	slight
37	470 Maiden Ln.	intact	intact	moderate	intact

Table 9. Summary of Architectural Styles and National Register Recommendations.

Building	Address	Architectural Style	Year Built	Eligibility Recommendation
1	615 Maple St.	Arts and Crafts – Craftsman	1908	not eligible
2	625 Maple St.	Colonial Revival	1930	eligible
3	635 Maple St.	Arts and Crafts – Craftsman	1904	eligible
4	635 Maple St.	Arts and Crafts – Craftsman	1904	not eligible
5	620 Maple St.	Queen Anne – Cottage	1904	not eligible
6	405 Oak St.	Beaux Arts – American Renaissance	1920	not eligible
7	415 Oak St.	Arts and Crafts – Craftsman	1914	not eligible
8	635 Opal St.	Beaux Arts – Classical Revival	1908	not eligible
9	450 Oak St.	Arts and Crafts – Craftsman	1913	not eligible
10	450 Oak St.	Arts and Crafts – Craftsman	1913	not eligible
12	675 Opal St.	Beaux Arts – Classical Revival	1917	not eligible
13	455 Campus St.	Arts and Crafts – Craftsman	1908	eligible
14	445 Campus St.	Vernacular	1937	not eligible
15	450 Campus St.	Modern – Minimal Traditional	1946	not eligible
16	440 Ash St.	Arts and Crafts – Craftsman	1919	not eligible
17	400 Ash St.	Gothic – Late Gothic Revival	1935	not eligible
18	530 Maple St.	Modern	1904	not eligible
19	520 Maple St.	Tudor – Composite	1933	not eligible
20	535 Maiden Ln.	Modern	1965	not eligible
21	550 Maiden Ln.	Arts and Crafts – Craftsman	1910	not eligible
22	540 Maiden Ln.	Arts and Crafts – Craftsman	1904	not eligible
23	530 Maiden Ln.	Arts and Crafts – Rustic/National Park	1903	not eligible
24	510 Maple St.	Modern – Minimal Traditional	1936	not eligible
25	500 Maple St.	Arts and Crafts – Craftsman	1925	not eligible
26	410 Spaulding St.	Tudor – Elizabethan	1925	eligible
27	435 Maple St.	Colonial Revival	1912	not eligible
28	625 Opal St.	Arts and Crafts – Craftsman	1910	not eligible
29	300 Maple St.	Arts and Crafts – Craftsman	1916	not eligible
30	330 Maple St.	Colonial Revival	1946	not eligible
31	340 Maple St.	Modern – International	1905	not eligible
32	400 Maiden Ln.	Colonial Revival	1919	not eligible
33	410 Maiden Ln.	Tudor – Composite	1904	not eligible
34	430 Maiden Ln.	Arts and Crafts – Craftsman	1926	not eligible
35	440 Maiden Ln.	Colonial Revival	1938	not eligible
36	460 Maiden Ln.	Colonial Revival	1928	not eligible
37	470 Maiden Ln.	Tudor – Composite	1930	not eligible

References Cited

- Belyea, Barbara (editor)
1994 *Columbia Journals*. University of Washington Press, Seattle.
- Bush, Julia H.
2005 Early History of Pullman. Electronic document, <http://www.pullman-wa.gov>.
- Caraher, Pat
2013 Sacred Heart Parish, Pullman, Washington. Manuscript on file, Sacred Heart Catholic Church, Pullman, Washington.
- Converse, G. L.
1988 *A Military History of the Columbia Valley*. Pioneer Press Books, Walla Walla, Washington.
- Demo, Pam
2000 Spokane & Palouse Railroad, Pullman to Genesee Spur (10NP452). Site form on file, Idaho State Historical Society, Idaho State Historic Preservation Office, Boise.
- Gilbert, F. T.
1882 *Historic Sketches of Walla Walla, Whitman, Columbia and Garfield Counties*. A. G. Walling, Portland.
- Hughlett, John
1972 Official List of Pullman House Renumbering. Manuscript on file, Whitman County Historical Society, Pullman, Washington.
- Jones, R. F. (editor)
1993 *Astorian Adventure: The Journal of Alfred Seton, 1811-1815*. Fordham University Press, New York.
- Kirk, Ruth, and C. Alexander
1990 *Exploring Washington's Past: A Road Guide to History*. University of Washington Press, Seattle.
- Luedeking, Robert
2010 *Images of America: Pullman*. Arcadia Publishing, Charleston, South Carolina.
- McCoy, Robert R., Michael Evans, Amanda Van Lanen, Mark Entze, Amy Canfield, and Michael Pollard
2006 College Hill District National Register of Historic Places Registration Form. Manuscript on file, Department of Archaeology and Historic Preservation, Olympia, Washington.
- Meinig, D. W.
1995 *The Great Columbia Plain: A Historical Geography, 1805-1910*. University of Washington Press, Seattle.
- Munch-Rotolo, Allison
2010 Remarkable Residents. *The College Hill Chronicle* 1(1):6.
- Root, Matthew J.
1989 The Interior Tramway: Wheat Transportation in the Snake River Canyon of Eastern Washington. *Archaeology in Washington* 1:71-82.

Ross, Alexander

1969 *Adventures of the First Settlers on the Oregon or Columbia River*. Edited by M. M. Quaiife. The Citadel Press, New York.

Sanborn Map Company

1942 *Description and Utilization of the Sanborn Map*. Sanborn Map Company, New York.

Townsend, J., J. H. Sprinkle, Jr., and J. Knoerl

1993 *Guidelines for Evaluating and Registering Historical Archeological Sites and Districts*. National Register Bulletin 36. U.S. Department of the Interior, National Park Service, Interagency Resources Division, National Register of Historic Places, Washington, DC.

Utley, Robert M.

1967 *Frontiersmen in Blue: The United States Army and the Indian, 1848-1865*. University of Nebraska Press, Lincoln.

Washington State College

1919 *The Chinook 1920*, Vol. 20. The Junior Class of the State College of Washington, Pullman, Washington. Lowman & Hanford, Seattle.

1923 *The Chinook 1924*, Vol. 24. The Junior Class of the State College of Washington, Pullman, Inland-American Printing Co. Spokane.

Washington State Railroads Historical Society

2005 Washington Railroad History Dates. Electronic document, <http://www.wsrhs.org/raildates.htm>.

Youngman, Elmer H.

1915 *The Bankers Magazine*. Volume 40, No. 1, January-June 1915. The Bankers Publishing Company, New York.

Newspapers and Maps

Colfax Gazette

Pullman Herald

Spokane Daily Chronicle

Map of Pullman and the State College of Washington, 1920

Sanborn Fire Insurance Maps, Pullman, Washington. 1891, 1893, 1896, 1908, 1929, 1949. Sanborn Map Company, New York.

Appendix 1: Historic Property Inventory Forms



Historic Inventory Report

Location

Field Site No. 1 DAHP No.

Historic Name:

Common Name:

Property Address: 615 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350006030001

Plat/Block/Lot Reaney's 2nd Addition/Block 6/Lot 1

Acreage 0.06

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473712

Northing: 528087

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/22/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Knuff, David C.

Owner Address: 615 NE Maple St.

City: Pullman

State: WA

Zip: 99163

Classification: Building

Resource Status:

Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Slight	Changes to Interior: Unknown		
Changes to Original Cladding: Slight	Changes to Windows: Extensive		
Changes to Other: Slight			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Wood - Clapboard Veneer - Stucco Wood - Plywood	Gable - Front Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Stone	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1908 Built Date
	1954 Remodel
	1995 Remodel
	1999 Remodel
	2013 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Some alterations to the building exterior have been made over the years. Changes to the building plan, cladding, and doors are slight, but the majority of the windows appear to have been replaced. A television antenna was installed on the roof in 1954. Slight changes have been made to the plan, cladding, windows and doors. A new roof was installed in 1995. In 1999, the front steps and back deck were replaced with Trex® (a wood-alternative composite). The new steps and deck were built to the same dimensions as the originals. The basement was remodeled by current owner David Knuff in 2013. The building has lost a substantial amount of integrity in aggregate due to changes in plan, cladding, roof, and windows. Therefore, we recommend the property is not eligible for listing on the National Register.



Historic Inventory Report

Description of
Physical
Appearance:

This is a two-story Arts and Crafts – Craftsman located on the west side of Maple, one-half block north of Ash Street. Originally built as a single-family dwelling in 1908, the house is now divided into three rental apartments. The address prior to 1972 was 1403 Maple Street.

The house has a rectangular ground plan that covers 2,580 square feet. The roof is a front-facing gable with projecting eaves and rafters exposed around all four sides of the first and second stories and is clad in composite shingles. The front facing eaves have a fascia and triangular brackets. A chimney constructed of stretcher bond masonry is left of center. The first story exterior is clad in clapboard siding with the second story clad in cement stucco; the stucco is not original. The rear section of the second floor on the northwest side is enclosed with plywood cladding. The house rests on a dressed basalt rubble random foundation.

The southeast elevation faces Maple Street. This elevation features an open porch with plain post support and is partially enclosed on the south. Six poured concrete steps lead to the verandah and a poured concrete walk leads from the street and around the northeast elevation. In the porch is an off-center door with plain lintel and a vertical beveled light on top of door. Above the door is a centered second story balcony set into the hipped roof of the porch. The foundation on this elevation has two single-sash windows. To the left of the door is a single-sash window with sidelights that are double-hung, and to the right is a single-sash window. Above the porch are two single-sash windows with wood muntins and two two-sash windows. In the attic is a single-sash with four lights. All windows on southeast elevation have plain wood trim and slip sills.

On the northeast elevation, there is a horizontal two-sash window and a vertical two-sash window on the foundation; both have new storm windows. The ground floor features a horizontal two-sash casement, a vertical two-sash casement with new storm windows, a two-sash with new storm windows, and a single-sash casement. The second story features a vertical two-sash window with new storm window and panes for a horizontal two-sash window, but the glass has been removed. The back porch has been enclosed and the foundation fronted by a false wall with horizontal clapboard siding.

The northwest elevation has a recently added accessibility ramp that connects to a set of wooden stairs supported by a poured concrete foundation, all of which are additions. The original porch is closed off and covered with added horizontal clapboard siding and fronted by an added aluminum storm window. The foundation level is covered by poured concrete and has poured concrete stairs that lead to an entryway. The foundation level has an original single-sash window. The first story has a two-sash window, a small horizontal two-sash window, a single-sash, and a two pane horizontal sliding window. The second story has two vertical single-sash windows, one two-thirds scale. The attic has a single-sash with four panes. All windows on this elevation have plain trim and slip sill.

The southwest elevation has a bay in the back half and a fence bordering the adjacent property. The first floor has four two-sash windows, and the bay has two small and one large two-sash window, with the large window broken but the surrounding intact. The second story in the center has a two-sash windows flanked by the single-sash on each side.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 308 TN
Front SE facade
2013



View to 270 TN
Front SE facade
2013



View to 280 TN
NE elevation
2013



View to 175 TN
NE-NW elevations
2013



View to 120 TN
NW elevation
2013



View to 335 TN
SW elevation
2013



View to 100 TN
SE elev of garage
2013



View to 5 TN
SE-SW elev of garage
2013



Historic Inventory Report

Location

Field Site No. 2 DAHP No.

Historic Name:

Common Name:

Property Address: 625 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350006080002

Plat/Block/Lot Reaney's 2nd Addition-Schmelzer Short Plat/Block 6/Lot 8

Acreage 0.05

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473765

Northing: 528149

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/22/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Johnston, Barry/Michelle

Owner Address: 625 NE Maple St.

City: Pullman

State: WA

Zip: 99163

Classification: Building

Resource Status:

Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Single Family House		
Plan: Rectangle	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Intact	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Intact		
Changes to Other: Intact			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Colonial - Colonial Revival	Brick - Common Bond Veneer - Stucco	Gable - Side Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Single Family - Side Gable		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1929 Built Date	
1968 Remodel	
1969 Remodel	
1976 Remodel	
1977 Remodel	
1980 Remodel	
2010 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: Yes
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No



Historic Inventory Report

Statement of Significance:

The original plan is intact and the cladding, windows, and doors are mostly original. Pullman City records indicate a permit for electrical wiring was issued to Donald Proctor in 1968. The following year the house was re-roofed. In 1973, a permit was issued to owners Douglas and Nora K. "Kristin" Kunkel for installation of an outside light. Other changes made to the house during the Kunkel's ownership include installation of a new furnace in 1976, a kitchen and bath remodel in 1977, construction of the swimming pool in the back yard in 1978, and a basement remodel in 1980. In 2010, a permit was issued to present owner Barry Johnston for re-roofing and gutters. According to the 1929 and 1949 Sanborn maps, the original roof was composition. Though new, the present roof is also composition. Though there is an added gutter system, this is a small change that does not significantly alter the building's historic integrity. The remaining exterior characteristics are original. The construction dates to a period when Washington State College was expanding and College Hill development expanded with the college. Therefore, we recommend that this property is eligible for listing on the National Register of Historic Places under Criterion C (Design, Construction, and Work of a Master).

Description of Physical Appearance:	<p>This is a two-story Colonial Revival located on the west side of Maple, one-half block south of Oak Street. The address prior to 1972 was 1405 Maple Street. The property was already included in the Historic Property Inventory Database as legacy data (DAHP No. 38-00419), though no architectural details are provided on the existing form.</p> <p>According to Whitman County Assessor records, the house was built in 1930, though it appears on the 1929 Sanborn Fire Insurance map without modification to the present ground plan. The house has a rectangular ground plan with wings that covers 2,295 square feet. The composite shingle roof is a high side-facing gable with a plain boxed cornice. The exterior is common bond red brick with the front facing shed dormer and wings covered in stucco. There is a common bond brick chimney at the northwest elevation to the right of center, and there is an added gutter system at the second story level.</p> <p>The southeast elevation faces Maple Street. The southern portion of this elevation has a projecting wing with a low gable roof and features a vertical two-sash eight pane window flanked by two, two-sash four pane windows with plain trim and wooden slip sill. The gable-roofed portico is offset to the right corner and has a suspended light. The supporting columns have detail and the portico roof interior horizontal planking. A four-panel door with two top lights and a lion head knocker lies below a semi-circle arch with plain surround. A poured concrete walk leads to the portico which is composed of four brick stairs topped with tile resembling brick, and a poured concrete driveway is on the Southwest elevation. On the first story, there is a vertical two-sash eight-pane window flanked by two four-pane with shutters and flat arch vertical joint surround. The second-story dormer has three vertical two-sash, equally spaced windows; the top sash has six panes and all windows have decorative shutters and plain lintel.</p> <p>The northeast foundation has four three-pane single-sash windows with a flat arch vertical joint sill. The top of the foundation has a vertical joint brick detail. Left of center on the first-story there is a single-sash stained glass window, and right of center there is a vertical two-sash eight top panes flanked by two vertical two-sash windows with four top panes. The second-story has three vertical two-sash windows with eight top panes. Above the windows is an attic vent with horizontal slats.</p> <p>The northwest elevation foundation has four windows of three single-sash three pane flat arch vertical jointed sill. The first story has a dormer with a front facing shed roof with three vertical two-sash with six top pane windows, and a small vent chimney. The wing has a bay with three vertical two-sash six-pane windows. There is a stained glass door and a screen door, both of which appear to be original. To the west of the door there is a vertical two-sash three-pane window. A poured concrete walk leads from the southwest side to a single poured concrete step below the door.</p> <p>The southwest elevation at the foundation level has a coal chute. At the first story, the wing has three two-sash windows that are flanked by two vertical two-sash windows. All windows on the wing have decorated lintels. The brick cladding on the first story has vertical two-sash windows, and the second story has a two-sash and one vertical two-sash windows. All brick cladding windows have flat arch vertical joint surround, and a flat arch vertical joint sill.</p> <p>A two car detached garage sits on the property facing the southeast with new garage doors and weathervane. The walls are corrugated metal roof over wood shakes. The southwest and northeast elevations have two single-sash windows with lintel. The northwest elevation has two single-sash windows with detached lintel surround.</p>
Major Bibliographic References:	(1) City of Pullman permitting records.

Photos



View to 300 TN
SE elevation
2013



View to 270 TN
SE-NE elevations
2013



View to 250 TN
NE elevation
2013



View to 140 TN
NW elevation
2013



View to 50 TN
SW elevation
2013



View to 85 TN
SW elevation
2013



View to 100 TN
Entryway detail
2013



View to 308 TN
SE elev of garage
2013



View to 25 TN



Historic Inventory Report

SW elevation of garage
2013



Historic Inventory Report

Location

Field Site No. 3 DAHP No.

Historic Name:

Common Name: Waller, Osmer L., House

Property Address: 635 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350006080001

Plat/Block/Lot Reaney's 2nd Addition-Schmelzer Short Plat/Block 6/Lot 8

Acreage 0.06

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473804

Northing: 528208

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/23/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Schmelzer, Allen/Jerriann

Owner Address: 6310 S. Dorset Rd.

City: Spokane State: WA Zip: 99224

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 1.5	Structural System: Balloon Frame	
Changes to Plan: Intact	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Slight		
Changes to Other: Intact			
Other (specify): Doors			
Style: Arts & Crafts - Craftsman	Cladding: Shingle	Roof Type: Hip	Roof Material: Wood - Shake
Foundation: Stone	Form/Type: Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1904 Built Date
	1969 Remodel
	1971 Remodel
	2007 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: Yes

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: This house retains much of its architectural integrity. The plan, cladding, and doors appear to be intact. The majority of windows appear to be original, but replacement screens and aluminum storm windows are throughout. Permitted alterations to the house include a new roof in 1969, a remodel that included alterations to interior outlets and lighting in 1971, and a new gas furnace in 2007. This large house marks an early period of residential expansion on College Hill. The building is a largely intact example of the Arts and Crafts architectural movement. Therefore, we recommend that it is eligible for listing on the National Register of Historic Places under Criterion C (Design, Construction, and Work of a Master).

Description of Physical Appearance: This is a one-and-one-half-story Arts and Crafts – Craftsman located at the southwest corner of Maple and Oak streets. Originally a single-family dwelling, the house is now divided into multiple rental apartments. The address prior to 1972 was 1407 Maple Street.

A plaque on the front door identifies this building as the former home of Osmer L. Waller, vice president of Washington State College. Originally from Ohio, Waller moved to Washington sometime around 1890. In 1893, he was appointed Professor of Mathematics and Civil Engineering at the newly established Washington Agricultural College in Pullman, despite having a limited knowledge of advanced mathematics or engineering. As a result of his limited technical expertise, many of Waller's subsequent positions at the college were administrative rather than instructional. These included Dean of Arts and Sciences and College Vice-President. During the term of Governor Marion Hay (1909–1913), Waller was appointed head of a commission to codify Washington state water laws. Later, he was named Secretary of the Columbia Basin Survey Commission and was one of the most vocal opponents to the construction of Grand Coulee Dam. Waller passed away in 1935 (<http://ntserver1.wsulibs.wsu.edu/masc/finders/cg222.htm>). Washington State College campus directories indicate Waller resided here from at least 1910 to 1932 (and probably until his death in 1935). The 1936 directory lists Louis Maddox (Extension Animal Husbandman) as resident.

The house has a rectangular ground plan that covers 2,742 square feet. The roof is covered in wood shakes and the primary roof is a medium hip with eaves projected and rafters exposed, with a low hip roof over the porch. It has a gutter system. The building sits on a random rubble basalt foundation and is clad in wood shingles. There is a two-stack, center left chimney and the stacks are linked at the base. The front-facing elevation has a balcony above the porch roof covered by a shed roof supported by plain posts. The southeast elevation, which faces Maple Street, features an open porch right of center that has a hanging light fixture and flat wood planking ceiling. An enclosed porch is left of the door and features ventilation breaks on the southwest, southeast, and northeast elevations. A brick walkway leads to the poured concrete porch topped with red tile and the door is a plain-surround single-leaf two-panel with four stained glass lights. The enclosed porch has a second entrance flanked by two single-sash twelve pane windows, and the southeast elevation has three side-by-side single-sash twelve pane windows with bull nose in the upper right and left corners. These windows have a wooden slip sill but no trim. The east section of the elevation has a bay with three windows; the center window is a two-sash with the top sash having six panes. This center window is flanked by two double twelve-pane windows. The balcony has two double-hung windows with eight lights equally spaced and the door is same as the front door on the first story but left of center.

The northeast foundation has two large single-sash windows on the corners of the elevation, and a centered single-sash window with eight panes. On the ground level there is a large single-sash window to the southeast, to the northwest there is one single-sash double-hung window with eight panes, and two single-sash double-hung windows with fifteen panes. There is also a small projection approximately three by twelve feet from the primary façade supported by three pairs of scrolled brackets. On the half-story, there is a break in the wood shingles above the first story and the primary roof is broken by two windows covered by shed roofs. At this elevation there is a double-hung window with a top sash of eight panes. The brick walkway continues on this side of the house, surrounding a brick patio which has four poured concrete semi-circular stairs, and the walkway continues to the outbuilding in the back yard (see Building 4).

The northwest elevation has a poured concrete patio with decorative iron fencing, and dressed basalt stairs and walkway into the backyard (). At the north end ground level there is a door to the patio, and to the west of the house there is a two-sash window with mullion, with one sash being double the size of the other. Further to the west is a double-hung casement with the top sash having six panes and the bottom made of stained glass. The interior and screen door appear to be original and all windows on this elevation have plain trim and slip sill. At the west end there is a projection, in the northeast elevation of the projection there is a single-leaf door with four panel, an added pet door, and transom flush and blinds. The addition has two three-sash windows with wood mullion, and the top corners of outside sashes are bullnose, and the addition has a low-hip roof with new gutters.

The southwest elevation has a brick walkway extending down the elevation to the sidewalk. The foundation level has a small opening at the west end, two large windows, the left of which is broken with a covering storm window while the right is a single-sash eight pane and one small square single-sash four pane window. Finally, at the center there is an eight pane single-sash flanked by two two-pane single-sash windows. There is a projected bay at the southeast end of the southwest elevation. The porch on this elevation has three three-sash windows with mullions, and each sash has twelve panes; the upper left pane of the left sash and the upper right pane of the right sash are bullnose. The ground level at the bay has a double-hung window with an eight-pane top sash, flanked by two double-hung windows with six panes in the top sash. To the left of the bay there are two double-hung windows with the top sash having eight panes. The back addition has one six-sash window with mullions. At the half-story there are two dormers with a shed roof. The dormer to the left has two double-hung four-pane windows and the right has a double-hung with an eight-pane top sash.

Major
Bibliographic
References:

- (1) Guide to the Osmer Lysander Waller Papers 1897-1935, Manuscripts, Archives, and Special Collections, Washington State University Libraries(<http://ntserver1.wsulibs.wsu.edu/masc/finders/cg222.htm>).
- (2) Washington State College campus directories, 1910 to 1932. Manuscripts, Archives, and Special Collections, Washington State University Libraries.
- (3) City of Pullman permitting records.

Photos



View to 300 TN
SE elevation
2013



View to 280 TN
SE-NE elevations
2013



View to 280 TN
NE elevation
2013



View to 212 TN
NE elevation
2013



View to 178 TN
NE elevation
2013



View to 130 TN
NW elevation
2013



View to 94 TN
SW elevation
2013



View to 355 TN
SW elevation
2013



View to 350 TN



Historic Inventory Report

SW-SE elevations
2013



Historic Inventory Report

Location

Field Site No. 4 DAHP No.

Historic Name:

Common Name:

Property Address: 635 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350006080001

Plat/Block/Lot Reaney's 2nd Addition-Schmelzer Short Plat/Block 6/Lot 6

Acreage 0.06

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473750

Northing: 528282

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/23/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Schmelzer, Allen/Jerriann

Owner Address: 6310 S. Dorset Rd

City: Spokane State: WA Zip: 99224

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Agriculture/Subsistence - Animal Facility	Current Use: Domestic - Secondary Structure		
Plan: Rectangle	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Slight	Changes to Interior: Unknown		
Changes to Original Cladding: Moderate	Changes to Windows: Slight		
Changes to Other: Moderate			
Other (specify): Doors			
Style: Arts & Crafts - Craftsman	Cladding: Wood - Shiplap Wood - Boards	Roof Type: Gable - Side Gable	Roof Material: Asphalt / Composition - Shingle
Foundation: Concrete - Poured	Form/Type: Agricultural		

Narrative

Study Unit	Other
Agriculture	
Date of Construction: 1904	Built Date: _____ Builder: _____ Engineer: _____ Architect: _____

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Alterations to the original stable include changes to the ground plan, roof, cladding, and windows. These alterations have substantially degraded the integrity of the building. Therefore, we recommend the building is not eligible for listing on the National Register.



Historic Inventory Report

Description of Physical Appearance:	<p>This is a two-story Arts and Crafts – Craftsman style agricultural outbuilding located at the southwest corner of Maple and Oak streets. It is located behind the main residence at 635 Maple (see Building 3) and appears to have been built around the same time (1904). It is shown on the 1908 Sanborn map as a stable and on the 1929 map as an auto garage, but it is now used for storage.</p> <p>The building is set against the hill slope so that the second story is at ground level on the higher, southeast side. It has a rectangular ground plan with an addition on the northwest elevation. The foundation is poured concrete. The walls are clad with replacement horizontal wood planking on the southwest and southeast elevations. The northeast and northwest elevations are clad with shiplap that appears to be original. The roof is asphalt composition shingles and a side gable with projecting eaves and exposed rafters. The original wood shake roof was removed. Aluminum gutters have been added and there is buckling on the first and second stories.</p> <p>The southeast elevation has a poured concrete driveway leading to the walk-in door that is left of center. The door is a single panel with a single light and plain trim. To the south is a horizontal sliding plain trim window. This elevation has been extensively modified, changing the building from a garage to its present configuration. The northeast elevation has a single-pane rectangular window. The dressed basalt walkway from the main house (Building 3) connects to the northwest elevation and joins with a poured concrete patio below a solid wooden door. This door has a hand-forged latch and plain trim and slip sill. The ground level of the northwest elevation has a single-sash window and the second story has two single-sash eight-pane windows with mullions. The southwest elevation at the ground level has a two-sash window with vertical mullion and plain trim and slip sill. At the second story is a single-sash four pane window, and a boarded opening next to the addition.</p>
Major Bibliographic References:	(1) City of Pullman permitting records.

Photos



View to 308 TN
SE elevation
2013



View to 160 TN
NE elevation
2013



View to 128 TN
NW elevation
2013



View to 70 TN
SW elevation
2013



Historic Inventory Report

Location

Field Site No. 5 DAHP No.

Historic Name:

Common Name:

Property Address: 620 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350005070000

Plat/Block/Lot Reaney's 2nd Addition/Block 5/Lot 7 (S 1/2)

Acreage 0.03

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473902

Northing: 528075

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/23/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Wallace Trust

Owner Address: 620 NE Maple St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Single Family House		
Plan: Irregular	Stories: 1.5		
Changes to Plan: Moderate	Structural System: Balloon Frame		
Changes to Original Cladding: Extensive	Changes to Interior: Unknown		
Changes to Other: Extensive	Changes to Windows: Slight		
Other (specify): Doors			
Style: Queen Anne - Cottage	Cladding: Wood - Clapboard	Roof Type: Gable	Roof Material: Asphalt / Composition - Shingle
Foundation: Concrete - Block Stone	Form/Type: Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1904 Built Date
	1976 Remodel
	1981 Remodel
	2005 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: This house has been significantly altered from its original state. More than half of the original cladding on this building has been replaced. Changes to the doors are also extensive. The original ground plan has been moderately altered, while changes to windows appear to be slight. Pullman City records indicate that Robert Wallace was issued a permit for piping alteration in 1976. A permit for conversion to 200 amp electrical service as also issued in the 1970s (the date on the record is illegible). The house was re-roofed in 1981 and again in 2005. Therefore, we recommend the property is not eligible for listing on the National Register.



Historic Inventory Report

Description of Physical Appearance:	<p>This is a one-and-one-half-story Queen Anne – Cottage located on the east side of Maple, one-half block south of Oak Street. The address prior to 1972 was 1404 Maple Street. This single-family dwelling has an irregular ground plan that covers 1,136 square feet. The roof is asphalt composition shingles and has close eaves. There is a stretcher-bond chimney where the northwest wing meets the main part of the building. Wall cladding is clapboard, approximately 40 percent of which is original. The foundation is dressed basalt in a coursed rubble pattern. A poured concrete sidewalk leads to the poured concrete entryway. The northwest elevation, which faces Maple Street, has a north and west wing. The north wing has two double-hung windows with mullion and a decorated lintel and plain slip sill. The main structure has a large single-sash window with plain trim and slip sill. The west wing has two double-hung casements with mullion, and the space between the primary and west wing is enclosed with a side sloping shed roof. The southwest elevation has a medium gable face and decorative shingles on gable. The cladding appears original on the southwest elevation. The wing window is double-hung with a decorated lintel and plain slip sill. On the primary structure there is a single-sash with plain trim and slip sill, and two horizontal screen windows.</p> <p>The southeast elevation has a wing connected by an enclosed porch with a shed roof and metal sheeting. The southeast wing and porch foundation is cinderblock with a crawl space. There is a screen window and side-facing stairs to the southeast. The primary southeast structure has a skirt on the ground level to wing which is replaced, and to the east there is a horizontally sliding casement with plain lintel and slip sill, and a vent at the half-story attic level.</p> <p>The northeast elevation has a vent at the joiner pipe to the southeast wing. On the ground level there is a double-hung casement with decorated lintel and plain slip sill. There are decorative shingles on the gable with an attic vent. The cladding on this elevation does not appear to be original.</p>
Major Bibliographic References:	<p>(1) Pullman Herald: 7 July 1911, 6 June 1919, 27 August 1920, 10 September 1920.</p> <p>(2) Moscow Pullman Daily News, 5 April 2005:4A.</p> <p>(3) City of Pullman permitting records.</p>

Photos



View to 138 TN
NW elevation
2013



View to 80
NW-SW elevations
2013



View to 38 TN
SW elevation
2013



View to 308 TN
SE elevation
2013



View to 265 TN
NE elevation
2013



View to 130 TN
NE elevation
2013



View to 308 TN
SE elevation cellar entry
2013



Historic Inventory Report

Location

Field Site No. 6 DAHP No.

Historic Name: Roth Apartments

Common Name: Elmhurst Apartments

Property Address: 405 Oak St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350005080000

Plat/Block/Lot Reaney's 2nd Addition/Block 5/Lot 7-8 (N 1/2)

Acreage 0.26

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473943

Northing: 528124

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/24/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Wallace Trust

Owner Address: 405 NE Oak St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: U-Shape	Stories: 3		
Changes to Plan: Intact	Structural System: Unreinforced Masonry		
Changes to Original Cladding: Intact	Changes to Interior: Unknown		
Changes to Other: Intact	Changes to Windows: Extensive		
Other (specify): Doors (exterior)			
Style:	Cladding:	Roof Type:	Roof Material:
Beaux Arts - American Renaissance	Brick - Stretcher Bond	Flat with Parapet	Unknown
Foundation:	Form/Type:		
Brick	Multi-Family - Multi-Story		
Concrete - Poured	Apartment Block		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1920 Built Date
	1970 Remodel
	1972 Remodel
	1981 Remodel
	Builder: Roth, Frank V.
	Engineer:
	Architect: Swain, William

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: This apartment building retains much of its architectural integrity. The ground plan and original brick cladding are intact. Many of the exterior doors are intact, however there have been extensive changes to the windows. The majority of windows in the building are replacements and many of the surrounds have been altered. City of Pullman records include permits for work on the building's plumbing (1970) and electrical wiring (1977), and new roofs in 1972 and 1981. Thus, the roof and windows are not original. Therefore, we recommend that the building is not eligible for listing on National Register under Criterion C (Design, Construction, and Work of a Master).

Description of Physical Appearance:	<p>This is a three-story Beaux Arts-American Renaissance Apartment Block located at the southeast corner of Maple and Oak streets. Although the building is known as the Elmhurst Apartments, it was first called the Roth Apartments after original owner and builder Frank V. Roth. The name was changed to Elmhurst during the mid-1920s (Luedeking 2010:69). An article in the 30 July 1920 Pullman Herald states the architect was William Swain. The address prior to 1972 was 301 Oak Street.</p> <p>The building has U-shaped ground plan covering approximately 11,328 square feet. A narrow, recessed entryway is located at the front of the building. The foundation is stretcher-bond brick with a cement plinth and a poured concrete sidewalk leads into a u-shaped courtyard. The roof is of unknown composition and is flat with a stucco parapet, decorative entablature and a frieze. The roof also has three skylights that are arrayed in a u-shaped pattern similar to the building. The walls are stretcher bond brick that is uninterrupted to roof.</p> <p>The façade is the northeast elevation and faces Oak Street. At the center of this elevation, there is a decorative flat archway with recessed panels along with brick detail and the name “ELMHURST” in metal letters. The u-shaped courtyard has bull-nosed corners and each of the three stories has two pairs of two double-hung windows and two single double-hung windows, all with plain trim and brick slip sill. The courtyard has an original metal light fixture above the door. Below this is a brick flat-arch vertical joint that frames a double-leaf door with plain trim with diamond pane details on the bottom and a single-sash on top. The second and third stories of the courtyard have fire escape doors that are single leaf with two panels on the bottom and a single light on top with original brass hardware. The third-story door also has original brass hardware. The original fire escape is located in the courtyard.</p> <p>Outside of the courtyard the two halves of the northeast elevation are symmetrical except for a double-leaf door with six-light single-sash windows above the transom at the east corner of the building. Each leaf has a panel on bottom with four lights on top which is at the east corner. The hardware is original and there is a simple brick detail around the door. The first story has three pairs of two single-hung windows with a top sash of six lights, wood mullion, plain wood trim and a flat arch vertical joint head, and three single windows with the aforementioned features. The second and third stories have four pairs of double windows and five single, respectively.</p> <p>The first story of the northwest elevation has two pairs of two windows in the center with a single window to the left and a pair of single windows to the right. This pattern is repeated for the second and third stories for 21 windows total in the northwest elevation. The windows in this elevation are identical to those on the northeast elevation.</p> <p>The southwest elevation has twelve pairs of windows (four on each story) that are identical to the windows in the previously described elevations except they have no header or surround. In the center of the elevation where the courtyard is on the northeast elevation, there are three double pairs that are missing the original mullion but have cement header and cement slip sill. At the foundation level, there are openings for four small pairs of horizontal sliding windows but only one still has a glass window present. This also is a larger opening for a pair of horizontal sliding windows. None of the horizontally sliding windows have a header or concrete sill. The roofline of this elevation has no frieze, but has a stucco and sheet metal parapet. A stucco chimney is present at the center of the elevation.</p> <p>The southeast elevation at foundation level has three openings for horizontal sliding windows, but the glass is removed. The windows on each story are similar to those of the northwest elevation, but have no headers or concrete slip sill and are arranged in a pattern of one two-sash and three single-sash on each story for a total of three two-sash and nine single-sash.</p>
Major Bibliographic References:	<ol style="list-style-type: none">(1) City of Pullman permitting records.(2) Luedeking, Robert (2010) Images of America: Pullman. Arcadia Publishing, Charleston, South Carolina.(3) Pullman Herald, 30 July 1920.

Photos



View to 245 TN
NE elevation
2013



View to 215 TN
NE elevation of east part
2013



View to 215 TN
NE elevation entryway
2013



View to 215 TN
NE elevation of west part
2013



View to 160 TN
NE-NW elevations
2013



View to 130 TN
NW elevation
2013



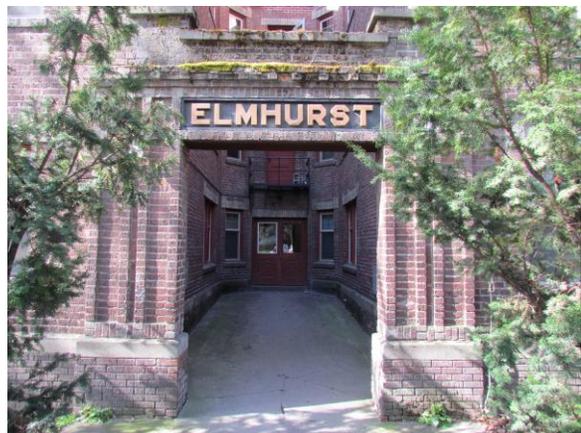
View to 325 TN
SW elevation
2013



View to 240 TN
SE elevation
2013



View to 255 TN



View to 215 TN

SE-NE elevations
2013

NE elevation entryway
2013



View to 215 TN
NE elevation entryway
2013

Description of Physical Appearance:	<p>This is a three-story Beaux Arts-American Renaissance Apartment Block located at the southeast corner of Maple and Oak streets. Although the building is known as the Elmhurst Apartments, it was first called the Roth Apartments after original owner and builder Frank V. Roth. The name was changed to Elmhurst during the mid-1920s (Luedeking 2010:69). An article in the 30 July 1920 Pullman Herald states the architect was William Swain. The address prior to 1972 was 301 Oak Street.</p> <p>The building has U-shaped ground plan covering approximately 11,328 square feet. A narrow, recessed entryway is located at the front of the building. The foundation is stretcher-bond brick with a cement plinth and a poured concrete sidewalk leads into a u-shaped courtyard. The roof is of unknown composition and is flat with a stucco parapet, decorative entablature and a frieze. The roof also has three skylights that are arrayed in a u-shaped pattern similar to the building. The walls are stretcher bond brick that is uninterrupted to roof.</p> <p>The façade is the northeast elevation and faces Oak Street. At the center of this elevation, there is a decorative flat archway with recessed panels along with brick detail and the name “ELMHURST” in metal letters. The u-shaped courtyard has bull-nosed corners and each of the three stories has two pairs of two double-hung windows and two single double-hung windows, all with plain trim and brick slip sill. The courtyard has an original metal light fixture above the door. Below this is a brick flat-arch vertical joint that frames a double-leaf door with plain trim with diamond pane details on the bottom and a single-sash on top. The second and third stories of the courtyard have fire escape doors that are single leaf with two panels on the bottom and a single light on top with original brass hardware. The third-story door also has original brass hardware. The original fire escape is located in the courtyard.</p> <p>Outside of the courtyard the two halves of the northeast elevation are symmetrical except for a double-leaf door with six-light single-sash windows above the transom at the east corner of the building. Each leaf has a panel on bottom with four lights on top which is at the east corner. The hardware is original and there is a simple brick detail around the door. The first story has three pairs of two single-hung windows with a top sash of six lights, wood mullion, plain wood trim and a flat arch vertical joint head, and three single windows with the aforementioned features. The second and third stories have four pairs of double windows and five single, respectively.</p> <p>The first story of the northwest elevation has two pairs of two windows in the center with a single window to the left and a pair of single windows to the right. This pattern is repeated for the second and third stories for 21 windows total in the northwest elevation. The windows in this elevation are identical to those on the northeast elevation.</p> <p>The southwest elevation has twelve pairs of windows (four on each story) that are identical to the windows in the previously described elevations except they have no header or surround. In the center of the elevation where the courtyard is on the northeast elevation, there are three double pairs that are missing the original mullion but have cement header and cement slip sill. At the foundation level, there are openings for four small pairs of horizontal sliding windows but only one still has a glass window present. This also is a larger opening for a pair of horizontal sliding windows. None of the horizontally sliding windows have a header or concrete sill. The roofline of this elevation has no frieze, but has a stucco and sheet metal parapet. A stucco chimney is present at the center of the elevation.</p> <p>The southeast elevation at foundation level has three openings for horizontal sliding windows, but the glass is removed. The windows on each story are similar to those of the northwest elevation, but have no headers or concrete slip sill and are arranged in a pattern of one two-sash and three single-sash on each story for a total of three two-sash and nine single-sash.</p>
Major Bibliographic References:	<ol style="list-style-type: none">(1) City of Pullman permitting records.(2) Luedeking, Robert (2010) Images of America: Pullman. Arcadia Publishing, Charleston, South Carolina.(3) Pullman Herald, 30 July 1920.



Historic Inventory Report

Location

Field Site No. 7 DAHP No.

Historic Name:

Common Name:

Property Address: 415 Oak St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350005090000

Plat/Block/Lot Reaney's 2nd Addition/Block 5/Lot 9

Acreage 0.04

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474014

Northing: 528087

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/24/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Wallace Trust

Owner Address: 415 NE Oak St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Single Family House		
Plan: Rectangle	Stories: 1	Structural System: Balloon Frame	
Changes to Plan: Slight	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Extensive		
Changes to Other: Extensive			
Other (specify): Doors			
Style: Arts & Crafts - Craftsman	Cladding: Shingle	Roof Type: Hip	Roof Material: Asphalt / Composition - Shingle
Foundation: Concrete - Block	Form/Type: Single Family - Bungalow		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1914 Built Date
	1965 Remodel
	1968 Remodel
	1985 Remodel
	2004 Remodel
	2005 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Although the house retains its original cladding, other aspects of the buildings have been altered. These include a slight change to the ground plan and replacement of most of the original windows and doors. Gutters have also been added. Permits for plumbing work and a sewer tap were issued in 1968 and 1985, respectively, and a new roof was installed in 2004–2005. Therefore, we recommend that this building is not eligible for listing on the National Register under Criterion C.

Description of Physical Appearance:	<p>This is a single-story Arts-and-Crafts – Craftsman located on the south side of Oak Street, three lots east of Maple Street. The address before 1972 was 303 Oak Street. This single-family bungalow has a rectangular ground plan that covers 1,549 square feet. The poured concrete foundation is covered by wood shingle. The roof is a medium hip and is covered in asphalt composite shingles. The walls are covered in wood shingle and the cladding is broken by a line about two feet above the first floor level with a wood shingle skirt. There is a poured concrete chimney on the southwest elevation that is offset on the rear slope of roof.</p> <p>The northeast elevation is the primary elevation and faces Oak Street. It features an open porch that wraps around to the southeast elevation. A poured concrete walk leads to wooden steps. The porch is made of flush vertical wood planking and has a low hip roof with low gable over the northeast entrance with projecting eaves and rafters exposed. The projected gable over the entryway is bracketed and has a simple detail in the gable. The porch has openings for windows but the glass is removed. There are muntins on the northeast elevation and two drainage/vent breaks in slant below the window openings. The front door appears original and is a single leaf with fifteen lights and some of the original hardware. To the right of the porch is a single-hung window with six top lights, simple decorated lintel, and no slip sill. The original wooden screen remains. To the left of the front door, above the porch, is a similar window but without screen.</p> <p>The northwest elevation at foundation level has two single-sash windows and a sump with a poured concrete retaining wall and metal headboard railing. The first story at the north end has a single-sash four-light window with simply decorated lintel and plain slip sill. The center has a pair of single-hung windows with the top sash having six lights, wood mullion, simply decorated lintel, and a slip sill that forms a break on the wooden skirt. The southern end has two windows that are the same as the north end. There is also a water spigot and vent coming out of the skirt on this elevation.</p> <p>The southwest elevation has a covered porch with a low-hip roof and horizontal ceiling planking which is all wood and enters the ground level. The porch has replacement straight-facing wooden stairs, plain flushes planking, and a plain single-leaf door that is not original. The porch was previously enclosed; the bottom is surrounded by wood lattice. The foundation level has an entry with poured concrete stairs and a plain replacement door. The first story at the west end has a single-sash six-light window with plain trim and sill. To the right of the porch there is a single-sash window with five top lights.</p> <p>The southeast elevation at the foundation level has an uneven two-sash window with the right sash two-thirds and the left one-third. The left is an opaque orange color. There also is a single-sash opening with a screen covering but no window. The first story at the south end has a pair of single-hung windows with six top lights in each and simply decorated lintel. The sill on the windows meets the break in cladding on the skirt. In the middle is a large single-hung window flanked by smaller single-hung window with six lights on each; all have mullions. The wraparound porch has two large opening wish muntins and the mullion separates the openings. A drainage vent is below each window opening.</p>
Major Bibliographic References:	(1) City of Pullman permitting records.

Photos



View to 210 TN
NE elevation
2013



View to 190 TN
NW elevation
2013



View to 60 TN
SW elevation
2013



View to 5 TN
SW-SE elevations
2013



View to 5 TN
SE elevation
2013



View to 260 TN
SE elevation
2013



View to 245 TN
SE-NE elevations
2013



Historic Inventory Report

Location

Field Site No. 8 DAHP No.

Historic Name:

Common Name:

Property Address: 635 Opal St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350005120002

Plat/Block/Lot Reaney's 2nd Addition/Block 5/Lot 12 (N 1/2)

Acreage 0.03

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474107

Northing: 528024

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/24/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Olson, Craig/Rose

Owner Address: 635 NE Opal St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Single Family House		
Plan: Rectangle	Stories: 3	Structural System: Balloon Frame	
Changes to Plan: Moderate	Changes to Interior: Unknown		
Changes to Original Cladding: Slight	Changes to Windows: Extensive		
Changes to Other: Extensive			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Beaux Arts - Classical Revival	Shingle Wood - Clapboard	Hip	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured Stone	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1908 Built Date	
1963 Remodel	
1972 Remodel	
1977 Remodel	
1981 Remodel	
2008 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Comparison of the present building with a photograph printed in the 1924 edition of The Chinook shows that the building has been significantly altered since that time, including the construction of a porch addition and removal of railing on top of the roof. There is also evidence of earlier alterations made prior to the 1924 photograph (e.g., the third floor bay addition on the northeast elevation). Although changes to the cladding are slight, alterations to other elements of the building are more significant. These include moderate changes to the ground plan and extensive changes to the windows and doors. Permitted alterations identified from City records include the installation of a gas line and cook stove in 1963, construction of the back porch in 1972, window replacement and roof repair in 1977, re-roofing in 1981, and second floor remodeling in 2008. The building has undergone substantial alteration. Therefore, we recommend that it is not eligible for listing on the National Register.

Description of
Physical
Appearance:

This is a three-story Beaux Arts – Classical Revival located at the southwest corner of Opal and Oak streets. The address before 1972 was 1407 Opal Street. Photographs of the house printed in the WSC yearbooks (*The Chinook*) show it was used throughout the 1920s and 1930s as a fraternity and sorority house.

The house has a rectangular ground plan that covers 1,303 square feet. The roof is a bellcast hip and boxed cornice with rafter detail, a wide frieze, and is covered by new asphalt composite shingles. The walls have wood shingle cladding on the southeast elevation and below the bottom of the first floor windows on the northeast, northwest, and southwest elevations. Above the window level on the northeast, northwest, and southwest elevations is wooden clapboard. The foundation is coursed dressed basalt covered by a wooden lattice.

The southeast elevation, which faces Opal Street, is the primary elevation. From the sidewalk along Opal Street, a set of poured concrete steps leads to a walkway that extends to the front porch. The walkway originally was brick, but the bricks are now mostly covered by poured concrete. At the end of the walkway, wooden stairs lead to a partially enclosed porch that is supported by simply decorated columns and two simple support panels. The porch is surrounded by a decorative lintel. The porch roof is a boxed cornice and pediment with decorative consoles, and is composed of horizontal flush planking with three light fixtures. The front door of the house is center-left and has decorative panels on bottom, a single etched glass light, and is surrounded by a simply decorated lintel. The porch also has a pair of single-hung windows with simple trim and no slip sill. Above the porch is a dormer and side facing gable, a pair of single-hung windows with wood mullion on both sides, and horizontal two-sash windows. The roof on this section is a boxed cornice with flush planking on the underside and is supported by two simple brackets. The open porch at the east end of the northeast elevation is supported by two simply decorated columns. In the foundation of the northeast elevation there is a small opening in the center of the bay and two coal chutes. The first story features a pair of single-hung windows with plain trim and missing lintel, a bay of three equal single-hung windows, and a single-hung window with a plain lintel. The second story has the same bay windows, and the third story has a set of three horizontal two-sash windows. The third story of the bay is most likely an addition as roofing material separates the second and third story. A photograph of the house on page 266 in the 1924 edition of *The Chinook* shows this third story addition was already present at that time. A common-bond single-stack side-right chimney and metal fire escape runs down the center of the bay. The fire escape is not present in the 1924 photograph.

The northwest elevation has an addition with back porch that is covered by a low hip roof and rests on a poured concrete foundation. City permitting records indicate the porch was built in 1972. The porch is semi-enclosed with a light above the back transom but no glass and no door in opening. It is supported by plain beams with eaves projected and rafters exposed with a frieze around porch. A single-hung window with plain trim is to the left of the porch. The back door to the home has simply decorated lintel and missing trim. On the porch is a pair of single-hung window with wood mullion, simple lintel and sill that meets the break between cladding and skirt. The second story has a dormer with a low-hip roof, encased eaves, and a single-hung window with missing lintel and simple surround. The roof on the right half of the northwest elevation is a medium hip with eaves projected and rafters exposed.

The southwest elevation at the foundation level has two horizontal two-sash windows with plain wood surrounds that are vinyl replacements. The first story has a single-hung window with decorated lintel and plain slip sill. A projected bay with plain shed roof matches the bay on the northeast elevation and has three single-hung windows with supporting beams projected underneath. The windows are missing the screens. One small single-hung window is left of the bay. The second story features a pair of single-hung windows with wood mullion, simple trim, and missing lintel, as well as a single-hung window with plain trim and no lintel. The attic has a single-sash window with plain trim and no lintel.

Major
Bibliographic
References:

- (1) City of Pullman permitting records.
- (2) *The Chinook* (Washington State College yearbook), 1924 edition.



Historic Inventory Report

Photos



View to 305 TN
SE elevation
2013



View to 265 TN
SE-NE elevations
2013



View to 240 TN
NE elevation
2013



View to 220 TN
NE elevation three-story modification
2013



View to 150 TN
NE elevation
2013



View to 195 TN
NW elevation
2013



View to 55 TN
NW elevation
2013



View to 128 TN
NW elevation porch detail
2013



View to 85 TN



Historic Inventory Report

SW elevation
2013



Historic Inventory Report

Location

Field Site No. 9 DAHP No.

Historic Name:

Common Name:

Property Address: 450 Oak St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350008010000

Plat/Block/Lot Reaney's 2nd Addition/Block 8/Lot 1 (S 1/2)

Acreage 0.04

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474204

Northing: 528122

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/24/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: HRA Cougs C/O Horizon Realty Advisors

Owner Address: 2003 Western Ave, Suite 445

City: Seattle State: WA Zip: 98121

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Irregular	Stories: 1.5		
Changes to Plan: Slight	Structural System: Balloon Frame		
Changes to Original Cladding: Moderate	Changes to Interior: Extensive		
Changes to Other: Slight	Changes to Windows: Extensive		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Shingle Veneer - Stucco	Hip - Hip-on-Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Stone	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1913 Built Date
	1970 Remodel
	1975 Remodel
	1976 Remodel
	1994 Remodel
	2007 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: A number of alterations have been made to the building's exterior and interior. Slight changes have been made to the ground plan over the years, though a sketch drawn on a Certificate of Occupancy dated 16 July 1975 indicates there have been no changes to the plan since that date. Changes to the original doors are slight, but changes to the windows are extensive. Changes to the original shingle cladding are moderate. Gutters have also been added. Most of the interior alterations appear to have taken place in 1975, when a permit to remodel the residence for three additional units was issued to owner Kenneth L. Gross. The following year, an additional unit was added to the 1975 permit. Several permits for remodeling and electrical work were issued to owner Kenneth L. Gross of Spokane during the 1970s. Additional permits for alterations were issued to Gross including one for electrical wiring (1970), installation of a 200 amp subpanel (1975), and plumbing (1976). A permit for the installation of a gas space heater was issued to Mark Provo in 1994. A re-roofing permit was issued to G & M Properties in 2007. Therefore, we recommend that the building is not eligible for listing on the National Register.

Description of
Physical
Appearance:

This is a one-and-one-half-story Arts-and-Crafts – Craftsman located at the northwest corner of Oak and Opal streets. Originally a single-family dwelling in 1913, the house is now divided into six rental apartments. The address prior to 1972 was 310 Oak Street.

The house has an irregular ground plan that covers 1,898 square feet. The roof is a hip on front facing gable with projecting eaves and rafters exposed. It is covered with asphalt composite shingles. There is a center located chimney with stretcher bond brick and six added vents on roof. The walls are primarily wood shingle with a stucco and wood detail under the gable. The foundation is dressed basalt.

The southwest elevation is the primary elevation and faces Oak Street. Four mature deciduous trees front the property and a poured concrete walkway and stairs lead to an enclosed front porch. The porch is supported by cinder blocks and is partially clad with vertical paneling. Horizontal two-sash windows flank the single-leaf 15-light porch door. Inside the enclosed porch is the original front door to the home, which is a single-leaf four-light with a sash and wood detail. The original brass knocker is still present. At the foundation level are two single-sash windows, the first story has nine large single-hung windows with 18 lights, and the half-story has three single-sash with six light windows. Poured concrete stairs also lead down to a basement apartment, which City permitting records indicate was added during the 1970s. The foundation also has a new single-sash window, and a single-hung window with three lights that is covered by a storm window. Above this is a single-hung window with plain trim with a wooden slip sill supported by four consoles.

The southeast elevation at the south end foundation level has a single-hung window with wood surround. The middle part of the foundation has a recessed window, a single-hung window, and one sash with three original lights. The first story has two single-hung windows (one original with six lights and one replacement with six top and six bottom lights) and one horizontal two-sash window. All windows have plain wood trim. There is also a disruption in the center of the wall that appears to be a covered window with added horizontal plain planking and two vents. At the half-story level is a dormer with a front-facing gable with eaves projected and rafters exposed. There is stucco and wood detail under the gable and a single-sash ten-light window with plain surround. At the northern end of the elevation, there is an enclosed porch supported by a poured concrete foundation with new wooden stairs and a replacement screen door. The porch has two large windows with four lights fronting the original four single-sash fifteen-light windows.

The northeast elevation has an enclosed porch with a slight front-facing gable that is supported by decorative brackets. The cladding under the gable is stucco with wood detail. The first floor has a replacement single-leaf three-panel door with four lights and a replacement screen, as well as a single-hung window with six top lights and simple trim. The half-story has a three-sash, six-light window with wood mullion. There is a wing on the north end with a shed roof, poured concrete foundation, and a doorway leading to stairs and a basement entrance. The first floor also has a pair of single-hung windows with wood mullion and six lights in upper sashes.

The northwest elevation at the foundation level has two recessed windows with one single-sash, and one sash with three lights and an added screen. Single-hung windows with simple surround and six top lights are at the north and south ends of this elevation. Between these is a replacement horizontal two-sash window with simple surround. A disruption in cladding around this window suggests the original window was the same size and configuration as the two windows that flank it.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 35 TN
SW elevation
2013



View to 350 TN
SW-SE elevations
2013



View to 350 TN
SE elevation
2013



View to 350 TN
SE elevation porch addition
2013



View to 228 TN
NE elevation-east part
2013



View to 160 TN
NE elevation
2013



View to 140 TN
NW elevation of porch addition
2013



View to 100 TN
NW elevation
2013



Historic Inventory Report

Location

Field Site No. 10 DAHP No.

Historic Name:

Common Name:

Property Address: 450 Oak St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350008010000

Plat/Block/Lot Reaney's 2nd Addition/Block 8/Lot 1 (N 1/2)

Acreage 0.04

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474250

Northing: 528166

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/26/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: HRA Cougs C/O Horizon Realty Advisors

Owner Address: 2003 Western Ave, Suite 445

City: Seattle State: WA Zip: 98121

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Single Family House		
Plan: L-Shape	Stories: 1		
Changes to Plan: Extensive	Structural System: Balloon Frame		
Changes to Original Cladding: Intact	Changes to Interior: Unknown		
Changes to Other: Extensive	Changes to Windows: Extensive		
Other (specify): Doors			
Style: Arts & Crafts - Craftsman	Cladding: Shingle	Roof Type: Gable - Side Gable	Roof Material: Asphalt / Composition - Shingle
Foundation: Concrete - Poured	Form/Type: Single Family - Side Gable		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction: 1913	Built Date: Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Although the cladding on these two attached outbuildings is original, the majority of the original windows and doors have been replaced. The building plan was extensively altered when the garage was either moved and attached to the residential dwelling or was added on to it. Therefore, we recommend that this building is not eligible for listing on National Register.

Description of
Physical
Appearance:

This is a pair of connected outbuildings located along the alley behind the main house at 450 Oak Street (see Building 9). One of the outbuildings is a single-car garage; the other is a one-story Arts-and-Crafts – Craftsman style dwelling that is a single rental apartment. The apartment and garage are connected by a roof over a narrow breezeway. Each building has a rectangular ground plan, though when connected they form an L-shaped plan that covers 855 square feet. The garage is not present on the 1949 Sanborn map, though an auto garage that is now gone is indicated just to the west. Thus, that garage was either moved and attached to the residential dwelling or an attached garage was built sometime after 1949. A permit to remodel the main residence at 450 Oak (Building 9) for three additional units was issued to owner Kenneth L. Gross in 1975. The following year, an additional unit was added to the 1975 permit. This latter unit may be a reference to the dwelling that is now the apartment described here.

The apartment building features a low side-facing gable roof with projecting eaves and exposed rafters. The attached garage has a front-facing gable with projected eaves and exposed rafters. The roofs of both buildings are covered with composite shingles and gutter systems have been added to both. The roofs intersect to create a three-foot-wide, covered walkway between the two buildings. This walkway is closed by a vinyl gate that opens onto the back alley. Both buildings are clad with wood shingles, and both have poured concrete foundations. The primary elevation of the apartment is the southwest, which faces the back of the main house. This elevation features a single-leaf door in the middle with a single-hung window on either side of the door. The roofline is slightly projected over the doorway, by approximately one foot, and that feature is supported by two simple brackets. Poured concrete steps and metal hand rails lead to the door. The windows and doors throughout the building feature simple wood trim or surrounds.

The southeast elevation of the apartment has a pair of single-hung windows separated by a wood mullion. The underside of the open gable has horizontal wood planking detail. There are no notable features on the northeast elevation, but the back slope of the roof has four vent openings and three stove/exhaust pipes. The northwest elevation, beneath the covered walkway, features a single-leaf main door with an original storm door, which has a screen on top and a panel on bottom. Also on this elevation it appears that a window has been removed and the opening boarded up.

The vehicle door of the garage is located on the northeast elevation and opens onto the back alley. This single-leaf door is made of vertical wood planks and opens upward on a track. To the left of the door is a small projected wing with a side-sloping shed roof covered with composite shingles. Centered in the wing is a pair of cupboard-like vertical-board doors that open outwards. There are no notable features on the northwest elevation of the garage.

The southwest elevation of the garage features a foundation that is covered by vertical wood planking, with the left corner opening to allow access to the crawlspace beneath the building. On the primary level is a small opening for a window, but it has been boarded up. There is a pair of single-hung windows separated by a wood mullion in the center of this elevation. These windows appear to be original, but one of the bottom panes is missing. Wood boards now partially cover the windows, likely acting as protection because a basketball hoop has been attached to the side of the garage above the windows. The southeast elevation features a more exaggerated projection of the eaves, which serves to create the covered passageway between the two buildings. Added side-facing wood stairs at the left corner lead to a single-leaf door, which is a replacement. A small single-hung window to the right of the door is original.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 30 TN
SW elevation of apartment
2013



View to 345 TN
SW-SE elevations of apartment
2013



View to 300 TN
SE elevation of apartment
2013



View to 210 TN
NE elevation of apartment
2013



View to 205 TN
NE elevation of garage
2013



View to 165 NE
NE-NW elevations of garage
2013



View to 5 TN
SW-SE elevations of garage
2013



View to 60 TN
Breezeway between apartment and garage
2013



Historic Inventory Report

Location

Field Site No. 12 DAHP No.

Historic Name:

Common Name:

Property Address: 675 Opal St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350008120000

Plat/Block/Lot Reaney's 2nd Addition/Block 8/Lot 12 (S 1/2)

Acreage 0.03

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474272

Northing: 528214

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/26/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Wallace Trust

Owner Address: 455 NE Campus St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing? No

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Irregular	Stories: 1.5	Structural System: Balloon Frame	
Changes to Plan: Intact	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Extensive		
Changes to Other: Extensive			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Beaux Arts - Classical Revival	Wood - Clapboard	Gable - Cross Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1917 Built Date 2009 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Although the original ground plan is intact and the clapboard cladding appears all original, there have been extensive replacements of the original windows and doors. Permitting records detailing alterations to the house are sparse. In 1963, a "gas receipt" for this house was issued to Fred Welch, but no other permitting records exist until 2009 when the house was re-roofed. The extensive alterations to the house lead us to recommend that it is not eligible for listing on the National Register of Historic Places.

Description of
Physical
Appearance:

This is a one-and-one-half-story Beaux Arts–Classical Revival located on the west side of Opal Street, one-half block south of Campus Street. Originally a single-family dwelling, the house is now divided into two rental apartments for college students. It is likely the house was built as a rental rather than the residence of the owner. The 1949 Sanborn map uses the symbol “F,” meaning a Flat, i.e., a rental. The address prior to 1972 was 1507 Opal Street.

The house is built on a foundation of poured concrete and has an irregular ground plan that covers 1,306 square feet, although it is very nearly an “L” ground plan with intersecting gables. A front-facing gable opens over the primary (northeast) entrance, while a side-facing gable tops a rear segment of the building that stretches to the northwest. The eaves are closed and the roof is covered with composite shingles. Each gable has a chimney made from stretcher bond masonry. The building is clad in clapboard.

The front entrance is located on the east half of the northeast elevation. The partially enclosed front porch faces Campus Street, but the front door opens onto Opal Street. The porch covers the left two-thirds of the front façade. A half-wall encloses the porch, and it appears that windows or screens once wrapped around the porch. Wood mullions remain, although one appears to be missing. Front-facing wood stairs lead to the porch entryway, and the floor of the porch is simple wood planking. Under the low hip roof of the porch are three single-hung windows, two of which are paired and separated by a wood mullion. The single-leaf front door faces the southeast and opens into the fully enclosed portion of the front elevation to the right of the porch. Most of the door, which features a light on top and a panel on the bottom, appears to be original though the hardware has been replaced. There is also a light above the transom. In the half-story above the porch, there is a horizontal sliding window. Moving to the right, along the northeast elevation, there is a single-hung window in the northwest-facing portion of the front segment of the building.

The northeast elevation of the west half of the building features three single-hung windows and a replacement single-leaf door that is the entrance into the second apartment. The door has a gable hood supported by minimal brackets and front-facing wood stairs connecting the entrance to a poured concrete sidewalk that wraps around the northeast and northwest elevations. The northwest elevation of the rear part of the building features one single-hung window on the left side of the ground level and a horizontal sliding window in the upper half-story.

The west half of the southwest elevation features a replacement single-leaf door with gable hood supported by plain wood beams that connect to a wood stoop and side-facing wood stairs. The door is centered on the rear segment of the building, and is between a horizontal sliding window and a single-hung window. Centered in the roof of this rear segment is a small shed-roof dormer with a small single-hung window. The foundation of the southwest elevation contains a steel coal trap door under the wood stoop and farther to the right is a single-hung window. Moving to the right, on the short wall that faces southeast and connects with the front section of the building, there is a horizontal sliding window in the foundation and a single-hung window in the first level.

The east half of the southwest elevation features a single-hung window in the foundation. The first level has a replacement single-leaf door beneath a gable hood with minimal brackets. Side facing wood stairs lead to a wood stoop. The door is centered between a horizontal sliding window and a single-hung window. Under the gable in the upper half-story, there is a single-hung window.

The southeast elevation of the front part of the house, adjacent to Opal Street, features a horizontal sliding window and a small single-hung window in the foundation. A single-hung window is in the first level at the south end of the elevation. The north end of this elevation connects back with the partially-enclosed porch described at the beginning.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 260 TN
NE elevation
2013



View to 220 TN
NE elevation of west half
2013



View to 155
NE-NW elevations
2013



View to 60 TN
NW-SW elevations
2013



View to 30 TN
SW elevation of west part
2013



View to 30 TN
SW elevation of east part
2013



View to 340 TN
SW-SE elevations
2013



View to 310 TN
SE elevation
2013



View to 280 TN



Historic Inventory Report

SE-NE elevations
2013



Historic Inventory Report

Location

Field Site No. 13 DAHP No.

Historic Name:

Common Name:

Property Address: 455 Campus St NE, Pullman, WA 11963

Comments:

Tax No./Parcel No. 112350008120000

Plat/Block/Lot Reaney's 2nd Addition/Block 8/Lot 12 (N 1/2)

Acreage 0.04

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474289

Northing: 528271

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/26/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Wallace Trust

Owner Address: 455 NE Campus St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Square	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Slight	Changes to Interior: Unknown		
Changes to Original Cladding: Extensive	Changes to Windows: Extensive		
Changes to Other: Extensive			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Shingle	Gable - Cross Gable	Asphalt / Composition - Shingle
	Wood - Clapboard		
	Wood - Boards		
Foundation:	Form/Type:		
Concrete - Poured	Single Family - Cross Gable		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1908 Built Date
	1953 Remodel
	2009 Remodel
	Builder: Rev. Willard H. Roots
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: Yes

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: The house has been significantly altered since it was built in 1908. Although the original ground plan has only changed slightly with the addition to the rear, but there are extensive changes to the cladding, windows, and doors. Nearly all of the original windows and doors have been replaced. In 1953, a building permit was issued to owner Fred Welch for "boxing off corners of basement." The house was reroofed in 2009–2010. Therefore, we recommend the house is not eligible for listing on the National Register under Criterion C (Design, Construction, and Work of a Master).
The building was owned and occupied by several prominent faculty members who made contributions to local history. Therefore, we recommend the house is eligible for listing on the National Register under Criterion B (Important Persons).

The original occupant, Reverend Willard H. Roots, also appears to have built the house. Rev. Roots was the popular rector of nearby St. James Episcopal Church (located at the corner of Oak and Ruby streets two blocks away). In April 1908, Rev. Roots married Katherine Philp while he was in the process of building the house. On 25 April 1908, the Pullman Herald reported that upon returning from their honeymoon, the newlyweds would "be at home in the residence recently constructed by Mr. Roots on College hill." Moving in, however, took somewhat longer as indicated in a brief note printed in the 3 July 1908 Pullman Herald: "Rev. Willard H. Roots and wife expect to be in their new home at 311 Montgomery and Opal, on Faculty hill, within two weeks. Some painting and tinning is yet to be done before the house is ready for occupancy." The Roots lived in the house less than a year, for in May 1909, the Reverend transferred to Hailey, Idaho. On 7 May 1909, the Pullman Herald announced his resignation and noted that "his fine home on College Hill will be for sale or rent."

The next person of local, as well as national, importance to occupy the house was R. W. Thatcher, who owned the house until 1913. Thatcher was hired as a State College of Washington (SCW) experiment station chemist in 1901 and in that capacity wrote numerous bulletins on such topics as wheat grades and egg preservation. From 1905 to 1907, he was assistant professor of agricultural chemistry at SCW. He was named associate professor in 1907. In 1909, he became acting director of the Farmer's Institute (which ran "demonstration trains" throughout the state). In 1910, he was named professor and head of the Department of Agriculture. Thatcher resigned from SCW in 1913 to accept an appointment as professor of plant chemistry and chief of the division of agricultural biochemistry at the University of Minnesota. He was assistant director of the Minnesota experiment station when appointed Dean of the Agriculture Department. He was a fellow of the American Association for the Advancement of Science and in 1912 he was elected president of the American Society of Agronomy. In 1919–1920, he was president of the Society for the Promotion of Agricultural Science. Thatcher became politically active in 1906 as a founding member of the Law Enforcement Party, whose primary concern with the "gross violation of City laws" and began writing articles in favor of closing all local saloons. In 1911, he summarized the findings of the Chamber of Commerce improvement committee, advocating a paved route from the business district to the college (Pullman Herald, 3 February 1911). This effort ultimately culminated in the construction of the red brick roads at the south end of Star Route (Maple Street) and Palouse Street two years later. Thatcher's resignation from SCW was not accepted graciously. Several groups with which he was involved passed resolutions asking him to reconsider leaving, and there was talk of the college administration being investigated for declining enrollment and the loss of this eminent faculty member. Thatcher placed an advertisement in the 21 March 1913 Pullman Herald announcing that the house and two lots were being "offered at a bargain for cash, or will make terms." On 8 May 1913, Thatcher and his wife sold the house and "lots 11, 12, blk 8, Reaney's 2nd add" to Rebecca Tapp for \$5,000 (Pullman Herald, 16 May 1913). Tapp then rented the house to the new head of the SCW Department of Agriculture, George W. Severance. Professor Severance served as a faculty member for 28 years during which time he served several administrative posts including the head of the Department of Agriculture and Vice Dean of the College of Agriculture. A telephone listing printed in the 15 December 1916 Pullman Herald indicates that F. C. Forrest was renting the house from Rebecca Tapp at that time. Forrest is listed as a cashier for the Farmers State Bank of Pullman at the time of their merger with the First National Bank of Pullman in 1915 (Youngman 1915:813). Forrest continued as cashier with the First National Bank and later served on the Board of Directors for the Friends of the Library of the State College of Washington.

On 11 September 1919, Tapp sold the house and two lots to James S. Klemgard for \$5,400 (Pullman Herald, 19 September 1919). Klemgard (1865–1931) was one of the earliest successful wheat growers on the Palouse, arriving as a lad of 17 years with his parents who had staked a homestead seven miles southwest of Pullman in 1882. In 1889, he began his own farm on land adjacent to his father's property. Klemgard eventually became one of the most extensive property owners in the Pullman area as well as a significant stockholder in the Pullman State Bank. He retired from active farming in 1909, but remained active in the civic life of the Pullman community (Pullman Herald, 9 July 1915). Klemgard served on a committee chaired by former house owner R. W. Thatcher that was appointed to investigate means of eradicating wheat fungus (Colfax Gazette, 6 October 1911). In 1918, Klemgard was appointed overseer and acting master of the state grange (Pullman Herald, 3 January 1918). Little information has been found regarding the house after Klemgard purchased it. It appears to have remained a rental property since Klemgard continued to reside on his farm southwest of town. The Washington State College Campus Directory lists Frederick W. Welch (Assistant Professor of Civil Engineering) as a resident here in 1926. The owner during the 1950s was Fred Welch. By 1965, the house was owned by William C. Parrish. A letter from the State of Washington Division of Professional Licensing suggests that Parrish used the house as a real estate office.

Description of
Physical
Appearance:

This is a two-story Arts-and-Crafts – Craftsman located at the southwest corner of Campus and Opal streets. Originally a single-family dwelling, the house is now divided into three rental apartments. The original address of this house was 311 Montgomery Street. This was changed to 311 Campus Street in the 1920s and then finally 455 Campus in 1972. The house has a square ground plan that covers 1,719 square feet. It features a cross gable roof of composite shingles, with the northeast end of the front-facing gable shorter than the southwest end. This allows the northeast slope of the side-facing gable to extend down to the first level of the building. The eaves are projecting and the rafters are exposed. The first story is clad in clapboard, which is not original, and the second level is clad in wood shingles. The foundation is made of poured concrete but is finished with stucco.

The façade (northeast elevation) faces Campus Street and features a partially enclosed porch on the left side which wraps around to the right side of the southeast elevation. The floor of the porch is made of simple wood planking, and the area is enclosed by a half-wall. The porch appears to have had decorative windows and screens. A few glass panels remain, but most of the material has been removed whereas the mullions remain. The roof over the porch is supported by modestly decorated pillars. At the base of the half wall, where it meets the porch floor, there are vents for circulation of air. Above the entry to the porch is a small gabled header. Beneath the porch roof is a large single-hung window with the top sash slightly smaller than the bottom. All windows in the first and second stories have simple wood trim and sills. Facing southeast is a single-leaf door that opens into the house, and to the right of the porch entry are two single-sash windows. On the upper story there is a small single-leaf door with original screen door that opens onto an upper balcony that is created by the extension of the northeast slope of the roof. On either side of the door is a single-hung window with eight lights on top. There is a vent under the open gable and gutters have been added.

The northwest elevation has two single-hung windows in the foundation, one smaller than the other, and each with six lights in the top sash. All windows in the foundation have minimal trim as they are inset into the concrete. The first story has a single-sash window and three single-hung windows with six lights in the top sash. One window appears to originally have been a single-hung window, but the bottom sash has been replaced with wood. The upper story has a single-hung window with six lights in the top sash and a single-sash window.

The southwest elevation features an original single-leaf door in the foundation level with three panels on the bottom and a light in the top. A poured concrete sidewalk leads to a concrete pad in front of the door. Directly to the right of the door is a three-sash window. Also in the foundation are a small single-sash window and a single-hung window with six lights in the top sash. The first story has a mostly enclosed entryway that is projected from the primary building. This appears to be an addition. The projected entryway extends out over the foundation level door and is supported by simple wood pillars. Side-facing wood stairs lead up to the first level entrance, which is clad in simple vertical wood planking. The addition has a partial hip roof, with the southeast edge of the roofline ending abruptly. There is horizontal sliding window in the addition; the doorway is open and faces southeast. To the right, on the first level, are a small horizontal sliding window and a pair of single-hung windows, each with six lights in the top sashes, that are separated by a wood mullion. The left window is slightly larger than the right. The upper story has two single-hung windows with nine lights in the top sashes.

The southeast elevation, which faces Opal Street, has a single-hung window with six lights in the top sash and a horizontal sliding window in the foundation. The foundation beneath the porch, on the right end of the elevation, is open but is fronted by wood lattice work that is significantly damaged. The first story features a pair of single-hung windows with six lights in the top sashes. The windows are separated by a wood mullion, and the left window is slightly smaller than the right. There also is a single-sash window just to the left of the porch. Under the porch roof on this elevation there is a replacement single-leaf door facing the northeast. Centered under the gable on the second story is a single-hung window with six lights in the top sash. To the left and slightly below this window is a single-hung window with eight lights in the top sash. This window provides light to the interior stairway that leads to the upstairs apartment.

Major
Bibliographic
References:

- (1) Colfax Gazette (6 October 1911)
- (2) Pullman Herald (25 April 1908, 3 July 1908, 7 May 1909, 3 February 1911, 21 March 1913, 16 May 1913, 9 July 1915, 3 January 1918, 19 September 1919)
- (3) Youngman, Elmer H (1915) *The Bankers Magazine*. Volume 40, No. 1, January-June 1915. The Bankers Publishing Company, New York.
- (4) City of Pullman permitting records.

Photos



View to 210 TN
NE elevation
2013



View to 120 TN
NW elevation
2013



View to 80 TN
SW elevation
2013



View to 300 TN
SE elevation of back entry addition
2013



View to 300 TN
SE elevation
2013



View to 265 TN
SE-NE elevations
2013



Historic Inventory Report

Location

Field Site No. 14 DAHP No.

Historic Name:

Common Name:

Property Address: 445 Campus St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350008110000

Plat/Block/Lot Reaney's 2nd Addition/Block 8/Lot 11 (S 1/2)

Acreage 0.02

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474205

Northing: 528249

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/26/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Wallace Trust

Owner Address: 445 NE Campus St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 1	Structural System: Balloon Frame	
Changes to Plan: Intact	Changes to Interior: Unknown		
Changes to Original Cladding: Slight	Changes to Windows: Extensive		
Changes to Other: Extensive			
Other (specify): Doors			
Style: Vernacular	Cladding: Wood - Clapboard	Roof Type: Gable - Side Gable	Roof Material: Asphalt / Composition - Shingle
Foundation: Concrete - Poured	Form/Type: Multi-Family - Duplex		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction: 1937	Built Date: _____
	Builder: _____
	Engineer: _____
	Architect: _____

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: The original ground plan of the building has not been altered, but there are slight changes to the original cladding. More significantly, there have been extensive replacements of the original roof, windows, and doors. Furthermore, the building had no significant architectural design or characteristics. Therefore, we recommend the building is not eligible for listing on the National Register of Historic Places.



Historic Inventory Report

Description of
Physical
Appearance:

This is a one-story, Vernacular multiple-family dwelling on the south side of Campus Street, two lots west of Opal Street. Though it has a Campus Street address, the building is located adjacent to the alley at the back of the lot. A garage was at the location of the present dwelling in the back of the lot on the 1929 Sanborn map. The garage in the back of the lot was removed sometime before construction of the current building, which according to Whitman County assessor records was in 1937. The City of Pullman has no permitting file for this address, which suggests it was either misplaced, lost, destroyed, or perhaps never obtained. On the 1949 Sanborn map, the building is shown in the western corner of the same large lot that includes the main residence at 455 Campus (Building 13). Thus, this small dwelling was built on the same large corner lot as the already existing home at 455 Campus, explaining its present location in the back of the lot. The building contains two small rental apartments above a four-vehicle garage and appears to have been built as a duplex, in concordance with the Sanborn map. The address before 1972 was 309 Campus Street.

The building has a rectangular ground plan that covers 800 square feet. It has a side-facing gable roof, with the front (northeast) slope extending farther than the rear slope and at an angle that creates a bell-cast shape. The slope is projected so that it can cover the elevated walkway to the apartment entrances. The roof is covered with composite shingles. The building is clad in clapboard and the foundation is made of poured concrete. There is a single chimney made of stretcher bond masonry in the center of the gable. The northeast elevation features side-facing wood stairs and railing that lead to the living quarters above the garage. A wooden walkway runs along the length of the elevation and provides access to the second apartment in the western half of the building. The projected roof eave is boxed and features simple horizontal wood planking on the underside, and it is supported by simple wood beams. The elevated walkway forms a porch that is partially enclosed with wood lattice work. The eastern half of the northeast elevation on the apartment level features a large horizontal sliding window, a single-leaf door with a large light in the top half, and a single-hung window. This pattern is then repeated in reverse order for the apartment in the western half of the building.

The northwest elevation features only a small vent under the open gable, which has closed eaves. The southwest elevation features four equally-spaced single-car garage spaces with replacement doors that open upwards. The doors are made of simple plywood. The apartment level on the elevation features two single-sash windows, one on either end, which appear to open on vertical hinges. In the middle are openings for smaller windows, but the openings are boarded up. The southeast elevation is similar to the northwest elevation with only a vent beneath the gable.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 240 TN
NE elevation
2013



View to 70 TN
NW-SW elevations
2013



View to 30 TN
SW elevation
2013



View to 260 TN
SE-NE elevations
2013



Historic Inventory Report

Location

Field Site No. 15 DAHP No.
Historic Name:
Common Name:
Property Address: 450 Campus St NE, Pullman, WA 99163
Comments:
Tax No./Parcel No. 112350015010001
Plat/Block/Lot Reaney's 2nd Addition/Block 15/Lot 1 (S 1/2)
Acreage 0.05
Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474366
Northing: 528400
Projection: Washington State Plane South
Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/26/2013
Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran
Owner's Name: Duskin, Cory/Desa
Owner Address: 510 N. Gifford Ave.
City: Arlington State: WA Zip: 98223
Classification: Building
Resource Status: Comments:
Survey/Inventory
Within a District? No
Contributing?
National Register:
Local District:
National Register District/Thematic Nomination Name:
Eligibility Status: Not Determined - SHPO
Determination Date: 1/1/0001
Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: Irregular	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Intact	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Extensive		
Changes to Other: Slight			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Modern - Minimal Traditional	Veneer - Brick Shingle	Gable - Front Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Multi-Family - Duplex		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1946 Built Date
	1956 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: While the doors of the building appear to be largely unchanged, the majority of the windows have been replaced. A building permit for "alteration of piping" was issued to the owner Chaplin in 1956, however we found no other records of alterations or modifications in the City permitting files. The building has no significant architectural design or characteristics and the windows are replacements. Therefore, we recommend the building is not eligible for listing on the National Register of Historic Places.

Description of Physical Appearance:	<p>This is a two-story Modern-Minimal Traditional duplex with an attached single car garage on the northwest corner of Campus and Opal streets. The two entrances to the duplex face different streets and have different street addresses. The address of the apartment with the entry on the southwest elevation is 450 Campus Street. The address of the apartment with the entry is on the southeast elevation is 705 Opal. The addresses before 1972 were 310 Campus Street and 1601 Opal Street.</p> <p>The house has an irregular ground plan that covers 2,370 square feet. It appears to have been built as a duplex. This is also indicated by the designation "F" on the Sanborn map, meaning the building was a flat with single family occupancy per floor. The house features a medium pitched front-facing gable. Between the first and second stories, on the southeast and northwest elevations, there also is a narrow side-sloping shed roof that extends over the slightly larger first story. The roof is covered with composite shingles and has an added gutter system. The shingles appear to be recent. A chimney made of stretcher bond masonry is in the center of the building.</p> <p>The first story is clad in stretcher bonded brick veneer while the second story is clad in wood shingles. The foundation is made of poured concrete. Poured concrete retaining walls mark the edges of the elevated yard along Campus and Opal streets. A wooden fence partially wraps around the lawn on the southeast side of the building.</p> <p>The southwest elevation features an enclosed entryway projected off the center of the first story. A poured concrete stoop and sidewalk lead up to the entry from Campus Street. The doorway is offset left of center and features a single-leaf door with four lights in the top and four panels on the bottom. A gabled hood sticks out over the door and a single light is affixed to the underside of this hood. To the left of the enclosed entryway is a horizontal sliding window and to the right is a three-sash window. All windows in the first story have headers and sills made of vertically bonded bricks, as are the headers over the doors. The second story of this elevation has two single-hung windows recessed slightly into the cladding, and they are surrounded by very narrow wood trim. A small vent sits under the gable opening.</p> <p>The southeast elevation features the entrance to the second apartment, which is a projected enclosure identical to entryway on the southwest elevation. In the foundation of this elevation are two single-sash windows with six lights each. The first story has a large three-sash window to the left of the projected entryway. To the right of the entryway is a single-hung window and a horizontal sliding window. A single car garage is attached to the northern end of this elevation. The garage has a flat roof and is made of clay bricks that are slightly larger than those used to clad the house. The corners of the garage, however, are detailed with the cladding brick. The second story of the southeast elevation has three single-hung windows with simple wood trim.</p> <p>The northeast elevation has two small single-hung windows in the first story. A single-leaf door is located to the right of the windows, at the corner of the building. A shed roof hood with simple wood brackets overhangs the door which opens onto a poured concrete pad. Also on this elevation, in the northwest-facing side of the attached garage, is a steel door for a coal chute. The second story has two single-hung windows recessed into the cladding, one on each end of the elevation. In the middle there is a replacement single-hung window that is placed in an opening designed for a larger window. The smaller replacement window is set into a wood surround that is sized to the original opening. There also is a horizontal sliding window that appears to be original. A small attic vent is under the open end of the gable.</p> <p>The northwest elevation features a horizontal sliding window, a single-hung window, and a large three-sash window in the first story. The second story has three single-hung windows with simple wood trim.</p>
Major Bibliographic References:	(1) City of Pullman permitting records.

Photos



View to 30 TN
SW elevation
2013



View to 340 TN
SW-SE elevations
2013



View to 215 TN
NE elevation
2013



View to 210 TN
NE elevation back entry
2013



View to 110 TN
NW elevation
2013



View to 80 TN
NW-SW elevations
2013



Historic Inventory Report

Location

Field Site No. 16 DAHP No.

Historic Name:

Common Name: Sacred Heart Catholic Church Parish Office

Property Address: 440 Ash St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350005020000

Plat/Block/Lot Reaney's 2nd Addition/Block 5/Lot 2

Acreage 0.03

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474003

Northing: 527878

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/26/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Sacred Heart Catholic Church

Owner Address: 440 NE Ash St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Religion - Religious Facility		
Plan: Irregular	Stories: 1	Structural System: Balloon Frame	
Changes to Plan: Slight	Changes to Interior: Unknown		
Changes to Original Cladding: Moderate	Changes to Windows: Extensive		
Changes to Other: Moderate			
Other (specify): Doors			
Style: Arts & Crafts - Craftsman	Cladding: Shingle	Roof Type: Hip	Roof Material: Asphalt / Composition - Shingle
	Wood - Clapboard		
	Wood - Shiplap		
Foundation: Concrete - Poured	Form/Type: Single Family - Bungalow		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1919 Built Date
	1960 Addition
	2009 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: A number of changes have been made to the house over the years, some more significant than others. Changes to the ground plan are slight, but there have been moderate changes to the original cladding and doors. Though some of the original windows remain, most appear to have been altered in some manner or completely replaced with newer windows. City permitting records show the awning was added to the back of the house in 1960 and a new furnace was installed in 2009. Therefore, we recommend that the house is not eligible for listing on the National Register of Historic Places.

Description of Physical Appearance:	<p>This is a one-story Arts-and-Crafts – Craftsman located on the north side of Ash Street, two lots east of Sacred Heart Church. The address before 1972 was 308 Ash Street. The house was constructed in 1919 as a single-family dwelling. It was purchased by the Sacred Heart Church in 1979 and has served as the business office for the church ever since.</p> <p>The house has an irregular ground plan that covers 1,390 square feet. It has a low hip roof covered with composite shingles. A gutter system has been added. There is an exterior chimney on the southeast elevation and another, smaller chimney that extends out of the northwest slope of the roof. Cladding under the roof eaves and along the skirt is wood shingles, while the middle portions of the walls are clad in wood clapboard. The foundation material is unclear because it is fronted by the wood shingles, but appears to be poured concrete.</p> <p>The southwest elevation, which faces Ash Street, features a partially enclosed porch at the front entryway. Poured concrete stairs with metal hand railings and a concrete sidewalk lead up to the porch from Ash Street. The porch takes up the left half of the southwest elevation and is partially enclosed by a half wall. The “Parish Office” sign is on the half wall and sits above a ventilation hole. The roof over the porch is supported by simple wood pillars; the floor and ceiling of the porch feature simple wood planking detail. Under the porch roof there is a large single-sash window to the left of the single-leaf door. All windows and doors feature simple wood trim. The door is original, with a large light on the top and three panels on the bottom, but the storm door is a replacement. To the right of the door, facing the northwest, is a large two-sash window, with the smaller bottom sash appearing to open. Towards the right. side of the southwest elevation is a large single-sash window. Below this window, in the foundation level, is a set of three single-sash windows separated by wood mullions.</p> <p>The foundation level of the southeast elevation has a set of single-sash windows separated by a wood mullion to the left of the chimney base. To the right of the chimney are two single-sash windows. Also in the foundation of this elevation is a replacement single-leaf door to the basement. The door and concrete steps leading down to the door are covered by a partially enclosed entryway with a front-facing gable roof. A chimney made of stretcher bond masonry is located near the southern end of the elevation. Above the foundation level and to the right of the chimney are one small single-sash window and three single-hung windows.</p> <p>The northeast elevation features some shiplap detail around the very bottom of the foundation, below the wood shingle skirt. The left half of this elevation features a small wing with a medium hip roof and one single-hung window. The northwest side of the wing has two two-sash windows, one of which has been boarded over. To the right of the wing is a replacement single-hung window and a single-leaf door with five lights. The door is original but the storm door is not. Poured concrete stairs and a wooden hand railing lead from the poured concrete patio to the door. Over the patio is an added decorative awning added in 1960. Beyond the poured concrete patio is a decorative brick extension and paver stone walkway, neither of which is original.</p> <p>The northwest elevation of the house features a slight projection in the middle of the wall that contains an off-center replacement horizontal sliding window. To the left of the projection are two single-hung windows as well as a horizontal sliding window in the foundation. To the right of the projection is a single-hung window. In the foundation below this window are two single-sash windows, one of which has four lights.</p>
Major Bibliographic References:	(1) City of Pullman permitting records.

Photos



View to 20 TN
SW elevation
2013



View to 350 TN
SE elevation
2013



View to 225 TN
SE elevation
2013



View to 300 TN
SE elevation basement entry
2013



View to 210 TN
NE elevation
2013



View to 210 TN
NE elevation back door
2013



View to 120 TN
NW elevation
2013



Historic Inventory Report

Location

Field Site No. 17 DAHP No.

Historic Name: Sacred Heart Catholic Church

Common Name:

Property Address: 400 Ash St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350005060000

Plat/Block/Lot Reaney's 2nd Addition/Block 5/Lots 5-6

Acreage 0.14

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473845

Northing: 527987

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/29/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Sacred Heart Catholic Church

Owner Address: 440 NE Ash St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Religion - Religious Facility	Current Use: Religion - Religious Facility		
Plan: Irregular	Stories: 1		
Changes to Plan: Extensive	Structural System: Plank		
Changes to Original Cladding: Slight	Changes to Interior: Extensive		
Changes to Other: Moderate	Changes to Windows: Slight		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Gothic - Late Gothic Revival	Brick - Common Bond Brick - Stretcher Bond	Gable - Cross Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Other		

Narrative

Study Unit	Other
Religion	Churches
Date of Construction:	Builder:
1935 Built Date	
1938 Remodel	
1958 Addition	
1973 Remodel	
1980 Remodel	
1983 Addition	
	Engineer:
	Architect: Maloney, John W.

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: The ground plan of the church has been altered extensively by the construction of the two large brick additions in 1958 and 1983. Changes to the cladding and windows on the original part of the church have been slight, while changes to doors have been moderate. Changes to the interior are also extensive. Caraher (2013) notes there were ongoing remodeling projects in the original basement from the late-1930s through the 1950s. Permitting records indicate that various interior remodeling projects continued from the 1970s through 2010. This included a renovation of the church sanctuary completed in 1980. A new roof was added in 1973. Therefore, we recommend the church is not eligible for listing on the National Register solely on the basis of significant architecture (Criterion C, Design, Construction, and Work of a Master).

Description of
Physical
Appearance:

The Sacred Heart Catholic Church is at the northeast corner of Ash and Maple streets. The address before 1972 was 304 Ash Street. Construction on the present Late Gothic Revival style building began in 1935. According to Caraher (2013), the original building was designed by Yakima architect John Maloney. The original church has been modified by the construction of two large brick additions. In 1958, the first large addition, known to parishioners as the "Annex," was completed on the southeast side of the original building (Caraher 2013). Historic photos show the church originally had a T-shaped ground plan that covered approximately 3,740 square feet. The Annex was a rectangular addition that was added to the eastern wing of the original "T" ground plan, and increased the area to approximately 5,540 square feet. In 1983, a 2,400-sq.-ft. brick social hall was built off the eastern end of the Annex. The former social hall in the basement of the church was renovated at this time and turned into classrooms (Caraher 2013). The new social hall was the last major addition to the church to date. From the outside, this addition appears to be a separate building, but an interior walkway connects it with the 1958 Annex. Between the new social hall and the original part of the church is a courtyard that features a large concrete patio that extends off the southeast elevation of the original part of the church.

The original part of the church, built in 1935, has a cross gable roof with close eaves and is covered with asphalt composition shingles. The walls are common bond brick with some projected bricks for decoration. The southwest elevation of the original part of the church faces Ash Street and contains the main entrance. Poured concrete and decorative brick stairs lead to a double-leaf eight-panel door with brass decorative panels and recessed blinds. The door is situated beneath a center-pointed decorative arch above the decorated wood transom. There is an inset stone decoration above the doorway. The southeast elevation of the original building has an engaged pilaster with three equally spaced columns. At the foundation level between each pilaster are three single-sash twelve-light windows with simple wood trim. All are original and are hinged to open on the right side. There is a poured concrete retaining wall with metal railing in front of the foundation level windows. At the south end of the elevation there is a stained glass window covered by decorative brick. Between each pilaster is a set of four sashes with new glass covering the original stained glass. The sashes are separated by decorative wood mullions, and they all have plain header and sill.

Attached to the southeast elevation of the original building is a square spire, which also is part of the original building. The southwest elevation of the spire at the ground level has a simple wood door with two center pointed arches. The door has a simple vertical flushboard with matching transom panel that meet the point of the brick arch. Brick detail above arch includes a cross with herringbone detail under eaves on southwest and southeast elevations. At the corner of spire there is a metal protective hood over a recessed bay with a Sacred Heart statue. The spire has a bellcast hip roof with a wood cross on the apex. The southeast elevation of the spire has a single-sash nine-light window at the foundation level and a single-sash five-sided (star point) stained glass window with simple wood trim at ground level.

The northeast (rear) elevation of the original building has four original stained glass windows with muntins that form diamonds, with a sash of glass over the top and flat joint slip sill. Two windows are on the original central projection and one each are on the original wings to the left and right of the central projection. The window opening to the left of the replacement single-leaf door in the projection is currently boarded. There is a very large, broad pediment hood constructed of wood clapboard that projects from the projection façade and is supported by large wood simple bracket. A wooden cross on the hood above the door appears to be a modern addition.

The northwest elevation that faces Maple Street features windows and architectural details that are symmetrical to the southeast elevation of the original building. A single stack chimney extends from the top of the western wing with a vertical joint detail at the top.

The Annex, constructed in 1958, extends eastward from the rear of the original church building. The southwest elevation of the Annex is clad in stretcher bond brick with some projected bricks, and four recessed panels with vertical wood veneer planking. Where the panels meet the poured concrete foundation is a vertical joint flat arch. At the bottom of the first recessed panel are two single-sash windows with brushed glass and a wood mullion. Above is a set of four single-sash decorative glass windows with decorative muntins, wood mullions, and simple trim. At the second panel is a set of four single-sash windows the same as above, and below this set of four windows is a similar set that is reduced in scale; two have one light replaced with glass from windows removed from the original 1935 building. The third panel is the same as the first and second but with a wooden hood that extends from the second to fourth recessed panel and is supported by large wood beams. Below the hood is a two-leaf door with four panels on bottom and nine lights on top of each leaf. On either side is a single window. There is a projected retaining wall on the left side of door with brick detail matching the rest of the Annex. On the fourth panel is a set of four windows above a wood veneer.

The southeast elevation of the Annex has a recessed panel with wood veneer cladding and a large rectangular vent underneath the gable. A large wooden cross is affixed to the vent with wood cladding coming off at the bottom. There is a two-car flat-roof carport that is supported by metal beams fixed onto a poured concrete pad attached to this elevation.

The northeast elevation of the Annex has two single-sash etched glass with simple wood trim and mullion at the foundation level. The first story has a single-leaf door with wood board above transom and the same cladding as the aforementioned four panels. The side panel to the right of the door at the east end of the elevation has textured glass and decorative muntins. There are also three sets of four-sash windows; five lights have glass that was once part of the windows removed from the original building (according to an unidentified church parishioner, the contractor incorporated some glass from original windows into the lights of the new windows). Finally there is a single stack chimney at the western end of the elevation, where the addition meets the wing of the original building.

The Social Hall addition was built in 1983 and is connected to the east end of the Annex by an enclosed walkway. This addition has the same decorative brick common-bond cladding as the rest of the building and has a high gable roof. A poured concrete walkway leads to the addition from Ash Street. The northwest elevation has two tall and narrow two-sash windows, one on the first story, one on the half story. The southeast elevation has two sets of single-light horizontal sliding glass doors. The northeast elevation, at the ground level, has two single-panel doors with a light above; one door is on the walkway that connects the addition to the Annex. At the half-story, there is a metal ramp and railing that connects from the carport to the addition. There is a single panel door at the end, flanked by two large vents. The northwest elevation has the same set of sliding doors as the southeast elevation. At the west end, there is an entryway; inside of the entryway is one large single-sash window.

Major
Bibliographic
References:

- (1) City of Pullman permitting records.
- (2) Caraher, Pat (2013) Sacred Heart Parish, Pullman, Washington. Manuscript on file, Sacred Heart Catholic Church, Pullman, Washington.

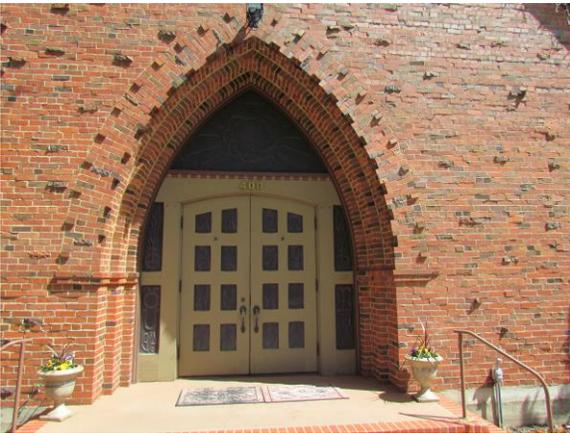
Photos



View to 85 TN
NW-SW elevations
2013



View to 30
SW elevation front entry
2013



View to 30 TN
SW elevation front entry brickwork detail
2013



View to 300 TN
SE elevation
2013



View to 340 TN
SE elevation tower with statue
2013



View to 120 TN
NW elevation
2013



View to 160 TN
NE-NW elevations
2013



View to 160 TN
NE elevation
2013



View to 180 TN



View to 340 TN

NE elevation of Annex
2013



View to 30 TN
SW elevation of Annex
2013

SE elevation of Annex
2013



View to 75 TN
NW-SW elevations of Social Hall addition
2013



View to 330 TN
SE-SW elevations of Social Hall addition
2013



Historic Inventory Report

Location

Field Site No. 18 DAHP No.
Historic Name:
Common Name:
Property Address: 530 Maple St NE, Pullman, WA 99163
Comments:
Tax No./Parcel No. 112350004050001
Plat/Block/Lot Reaney's 2nd Addition/Block 4/Lot 4 (N 1/2)
Acreage 0.04
Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473769
Northing: 527846
Projection: Washington State Plane South
Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/29/2013
Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran
Owner's Name: Walton, Gary/Linda
Owner Address: 530 NE Maple St.
City: Pullman State: WA Zip: 99163
Classification: Building
Resource Status: Comments:
Survey/Inventory
Within a District? No
Contributing?
National Register:
Local District:
National Register District/Thematic Nomination Name:
Eligibility Status: Not Determined - SHPO
Determination Date: 1/1/0001
Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Single Family House		
Plan: Rectangle	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Slight	Changes to Interior: Unknown		
Changes to Original Cladding: Extensive	Changes to Windows: Slight		
Changes to Other: Slight			
Other (specify): Doors			
Style: Modern	Cladding: Metal - Aluminum Siding	Roof Type: Gable - Front Gable	Roof Material: Asphalt / Composition - Shingle
Foundation: Stone	Form/Type: Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1904 Built Date
	1967 Remodel
	1974 Remodel
	1974 Addition
	2007 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Although changes to the plan, windows, and doors are slight, changes to the original cladding are extensive. City records indicate the siding was replaced and a gas furnace installed in 1982. The house was re-roofed again in 1974 and again in 2007. We recommend that the building is not eligible for listing on the National Register because of the extensive changes to cladding and the roof.

Description of
Physical
Appearance:

This is a two-story Modern style house located at the southeast corner of Maple and Ash streets. The address prior to 1972 was 1306 Maple Street. Whitman County Assessor records indicate this house was built in 1904, though the architectural style suggests a more recent build date.

The house has a rectangular ground plan that covers 1,842 square feet. The roof is a front-facing gable and boxed cornice and is covered in asphalt composition shingles. A new gutter system has been added relatively recently. Two single-stacked chimneys with stretcher-bond masonry extend from the top of the gable. The center chimney has a poured concrete fixture on top. The walls are clad with horizontal metal aluminum siding. The foundation is made of coursed rubble-dressed basalt, though the stone is covered by poured concrete on the northwest elevation.

The northwest elevation, which faces Maple Street, is the primary elevation. A poured concrete walkway leads to a poured concrete stoop, which has wood pillars and side-facing wood consoles that support the second story, which projects one foot over the lower half of this elevation. The front door is an original single leaf with vertical wood flush board. The door has a small light at top center, which is covered by a metal decorative grate. The hardware in the door also is original. There is an original storm door with eight lights on top and a panel on the bottom, though the hardware on the storm door is not original. There is an added light fixture to the right of the door. At the foundation level, there is a single-sash twenty-light window flanked by single-hung windows with wood mullions. To the right of this window is another single-hung window with nine lights on bottom and six on top. The second story has a recessed bank of windows with a single-hung window flanked by two half-size single-hung windows.

The southwest elevation, at the foundation level, has two recessed openings for windows. One is boarded up while the other has a two-sash window (one sash is replaced by plywood to accommodate a vent). The first story has a large thirty-light single-sash window and two single-hung windows with a slightly smaller single-hung window on the wing. The eastern part of the first floor elevation is recessed. The second story features a hip roof dormer with side-by-side single-hung windows separated by wood mullion.

The southeast, or rear elevation has a single-hung window on the left side of the first story. To the right of this is a single-hung window then a single-leaf door with three panels on the bottom and a large light on top. The door has replacement hardware. Side-facing wood stairs flanked by a partial metal railing lead to the back door. The wing on this elevation has a shed roof, covered by standing seam metal. The second story has two recessed windows; each is a single-hung window with a small vent under the gable. The carport, which extends out from this elevation was added in 1974.

The northeast elevation has a projected bay of windows with a two-sash at the center, flanked by single-sash two-pane windows. The east end of this elevation has two single-hung windows with plain trim. At the center is one small single-sash window with twenty-four lights. A poured concrete sidewalk and stairs leads to a foundation-level entrance with a replacement door.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 120 TN
NW elevation
2013



View to 360 TN
SW elevation
2013



View to 300 TN
SE elevation
2013



View to 210 TN
NE elevation
2013



View to 180 TN
NE-NW elevations
2013



Historic Inventory Report

Location

Field Site No. 19 DAHP No.

Historic Name:

Common Name:

Property Address: 520 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350004050002

Plat/Block/Lot Reaney's 2nd Addition/Block 4/Lot 4 (S 1/2)

Acreage 0.04

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473742

Northing: 527797

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/29/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Chapman, John/Hornback A.

Owner Address: 520 NE Maple St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House		Current Use: Domestic - Multiple Family House	
Plan: Irregular	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Slight		Changes to Interior: Unknown	
Changes to Original Cladding: Slight		Changes to Windows: Moderate	
Changes to Other: Slight			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Tudor - Composite	Veneer - Stucco	Gable - Cross Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Single Family - Gable Front and Wing		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1929 Built Date
	1963 Remodel
	1970 Remodel
	1971 Remodel
	1999 Remodel
	2003 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Alterations to the original building include slight changes to the cladding and doors, and moderate changes to the windows. The house interior is divided into three apartments and is now listed as a triplex in City records. In 1963, a permit for work on the open deck porch on the southwest elevation was issued to Lawrence Fletcher. In 1970, owner Paul Wadleigh was permitted to add one unit. A new roof was installed the following year. A new furnace was installed in 1999 and the house was re-roofed in 2003. Alterations and installation of a new roof has compromised the historic integrity of the building. Therefore, we recommend that it is not eligible for listing on the National Register.

Description of
Physical
Appearance:

This is a two-story Tudor Composite located on the east side of Maple, one-half block south of Ash Street. Originally a single-family dwelling, the house is now divided into three rental apartments. The address prior to 1972 was 1304 Maple Street.

The build date given in the Whitman County Assessor records is 1933, however the same building shown on the 1929–1949 Sanborn map is also shown on the 1929 Sanborn without modification; the building plan shown on these maps is identical to that of the present building. This suggests the present house was built at least by 1929. The house has an irregular ground plan that covers 1,896 square feet. The roof is a cross gable with boxed cornice and a narrow fascia. All of the walls are clad in stucco and the foundation is poured concrete.

The northwest elevation faces Maple Street. A concrete sidewalk leads from the street to a set of poured concrete steps and stoop at the front door. The door is a single leaf with vertical flushboard and pronounced metal hinges that are original. The rest of the original hardware has been replaced, except for an original mail slot. The door is an arched semi-circular opening, above which is a small light. To the right of the door on the first story is a large single-sash six-light window with plain trim. On the left side of the entryway, facing northeast, there is a narrow single-sash three-light window. A pair of single-hung windows separated by a wood mullion is located at the far left side of the elevation. Both windows have four lights on top and four lights on bottom. The second story of the northwest elevation has a single-hung window with four top lights and four bottom lights. All windows are original with added storm screens.

The southwest elevation features a center-right chimney made of stretcher-bond brick. A coal chute is located in the foundation to the left of the chimney base. To the right of the chimney, also in the foundation, is a single-sash three-light window. One light has been replaced by metal sheet to accommodate a vent. In the first story of this elevation, to the left of the chimney, is a single-hung window with four top lights and four bottom lights. A projected entryway with a poured concrete stoop is located to the right of the chimney. The doorway has a hip-roofed hood and consoles. The door is a single leaf with three panels on bottom and six lights on top. The second story has a pair of single-hung windows that have four lights on top and four lights on bottom with wood mullion. There is a vent beneath the side-facing gable.

The southeast elevation has poured concrete steps that lead to a basement-level entry door, which is an addition. Also at the foundation level are two horizontal sliding two-sash windows with no trim. The first story of this elevation has a horizontal sliding two-sash replacement window with missing screen and a pair of single-hung windows separated by wood mullion. The windows have six top lights and six bottom lights. To the right of the pair of windows is another single-hung window with the same configuration of lights. The second story features a dormer with shed roof. A single-hung window with four top lights and two bottom lights is located right of center in the dormer. This window is flanked on each side by a single horizontal two-sash window with six top lights and six bottom lights. A pipe extends from the top in the dormer roof.

The northeast elevation, at the foundation level, has two single-sash windows with three lights and no trim. There are two single-sash windows with six top lights and six bottom lights in the first story. The second story has a set of three single-hung windows with four top lights and four bottom lights, with wood mullions. There is a wood-trimmed attic vent under the gable roof.

Behind the house is a detached two-car garage clad with concrete/asbestos shingle siding. The garage has a flat roof and poured concrete foundation. Two openings for vehicles are present on the southwest elevation. No doors are present. The northeast elevation has a side-by-side single-sash wood mullion window with plain trim. The northwest elevation has a single-leaf door with four panels and a plain surround and a single-sash window with plain trim and sill. There are no notable features on the southeast elevation.



Historic Inventory Report

Major
Bibliographic
References: (1) City of Pullman permitting records.

Photos



View to 120 TN
NW elevation
2013



View to 5 TN
SW elevation
2013



View to 360 TN
SW elevation front gable detail
2013



View to 285 TN
SE elevation
2013



View to 145 TN
NE elevation of side gable
2013



View to 210
Front gable side view
2013



View to 200 TN
NE-NW elevations
2013



View to 30 TN
SW elevation of garage
2013



View to 80 TN



View to 245 TN



Historic Inventory Report

NW elevation of garage
2013

SE-NE elevations of garage
2013



Historic Inventory Report

Location

Field Site No. 20 DAHP No.

Historic Name: College Hill Apartments

Common Name:

Property Address: 535 Maiden Ln NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350004070000

Plat/Block/Lot Reaney's 2nd Addition/Block 4/Lots 7-8

Acreage 0.20

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473891

Northing: 527751

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/30/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Templeton Enterprises LLC

Owner Address: 13212 NE 20th St.

City: Vancouver State: WA Zip: 98684

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: U-Shape	Stories: 3		
Changes to Plan: Intact	Structural System: Balloon Frame		
Changes to Original Cladding: Intact	Changes to Interior: Unknown		
Changes to Other: Slight	Changes to Windows: Moderate		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Modern	Veneer - Brick	Gable	Asphalt / Composition - Shingle
	Wood - Clapboard		
	Veneer - Stucco		
Foundation:	Form/Type:		
Concrete - Poured	Multi-Family - Multi-Story Apartment Block		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1965 Built Date
	1974 Addition
	1999 Remodel
	Builder:
	Engineer:
	Architect: Vicary, Douglas W.

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Alterations to the building include slight changes to the doors and moderate replacement of windows. City records indicate that a permit to "build covered deck and slabs" was issued in 1974. A new roof was installed in 1999. The building is 48 years old and contains no significant architectural characteristics. Therefore, we recommend that it is not eligible for listing on National Register.

Description of Physical Appearance: This three story Modern Apartment Block built in 1965 is located at the southwest corner of Maiden Lane and Ash Street. The address prior to 1972 was 1305 Maiden Lane. According to the original building construction permit application, the building was designed by Moscow, Idaho architect Douglas W. Vicary. The building contains 20 apartments plus a laundry and has an asymmetrical, U-shaped ground plan that covers 8,902 square feet. There is a central courtyard between the wings of the building.

The northeast wing, adjacent to Ash Street, is slightly longer than the southwest wing on the other side of the courtyard. The building has low front-facing gables over the two wings and a side-facing gable over the back portion of the building. The eaves are projected and the roofing material is a composite shingle. The building is clad partially in stretcher bond brick veneer and partially in wood clapboard. The foundation is made of poured concrete and finished with stucco. The central courtyard is covered with white river cobbles and ornamental shrubs.

Beginning with the southeast elevation of the southwest wing, to the left of the courtyard and facing Maiden Lane, we find that all three stories feature a sliding glass door that opens onto a wood balcony with exposed support beams. Each balcony is partially enclosed by metal hand railings. Immediately to the right of the doors are windows with a large single-sash and a smaller, narrow single-hung window. The foundation level of this elevation contains three covered parking spaces. The northeast elevation of the southwest wing, which faces the central courtyard, features a horizontally sliding window at the right end of the elevation on each story.

Continuing clockwise around the courtyard is the southeast elevation of the rear portion of the building. Again, all three stories are identical with each apartment unit featuring a single-leaf door with a storm screen. The doors are flanked on the left by a window containing a large single-sash on the left and a narrow single-hung on the right. To the right of the door is a larger window with a narrow single-hung on the left and a large single-sash on the right. Under this window is an air conditioning unit. Wooden walkways line the levels of this elevation, again with exposed support beams, simple wood pillars, and metal handrails.

Continuing clockwise, the next elevation is the southwest elevation of the northeast wing. This elevation also faces the interior courtyard. The apartment units again display the same pattern of window-door-window described for the previous elevation. Attached to the southeast corner of this wing is an enclosed stairwell with doors on all three levels. The door at the ground level of the stairwell opens to the southwest in front of the courtyard. A narrow three-sash window on the southeast elevation provides light to each of the three levels of the enclosed stairwell.

The southeast elevation of the northeast wing, which faces Maiden Lane, is connected to the enclosed stairwell by decorative metal screens that enclose the end of a breezeway. Each level on this elevation contains a window with a large sash on the left and a narrow single-hung window on the right.

The northeast elevation of the northeast wing faces Ash Street and features two styles of windows. The first is a tall, narrow window with a fixed sash in the middle and horizontal sliding windows above and below. The second type is a narrow horizontal sliding window. The three levels of this elevation are identical and feature the following pattern: two tall windows, two horizontal windows, four tall windows, two horizontal windows, and two tall windows. The foundation of this elevation is open for parking and is supported by simple metal pillars.

The window configuration on the northwest, or back, elevation of the building are identical for each level. This elevation is broken by an off-center breezeway that separates the apartments in the northeast wing from those in the rest of the building. The northwest end of the breezeway is enclosed by a decorative metal grate or screen. To the left of the breezeway on each level is a window containing a large fixed-sash on the left and a narrow single-hung on the right. The windows to the right of the breezeway are the same two styles described for the northeast elevation of the northeast wing and follow an identical pattern on each level: two tall windows, two horizontal windows, and two tall windows.



Historic Inventory Report

The final elevation is the southwest elevation of the southwest wing. As with the previous elevation, this elevation is broken by an off-center breezeway that separates the apartments at the rear of the building from those at the eastern end of the wing. The foundation level left of the breezeway contains two covered parking spaces beneath the building. A concrete and metal staircase to the right of the parking spaces provides access to the three levels of the building. Above the parking spaces, each of the three level features a window with a narrow single-hung window on the left and a fixed sash on the right. The three apartment levels to the right of the breezeway each contain a set of three horizontal sliding windows, each of a different size and proportion. The laundry room is located in the foundation level to the right of the breezeway and has a pair of windows that have fixed sashes in the middle and horizontally sliding sashes on either side. An asphalt parking lot runs along the southwest and part of the southeast elevations.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 335 TN
SE elevation and courtyard overview
2013



View to 300 TN
SE elevation
2013



View to 300 TN
SE elevation-south half
2013



View to 300 TN
Courtyard detail
2013



View to 210 TN
NE elevation
2013



View to 55 TN
NW elevation
2013



View to 120 TN
NW elevation-south part
2013



View to 20 TN
SW elevation
2013



Historic Inventory Report

Location

Field Site No. 21 DAHP No.

Historic Name:

Common Name:

Property Address: 550 Maiden Ln NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112300006040002

Plat/Block/Lot Reaney's 1st Addition/Block 6/Lot 4

Acreage 0.03

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474065

Northing: 527699

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/30/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Wimmer, Dennis R.

Owner Address: 640 NE Maiden Ln, Apt #6

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Irregular	Stories: 1		
Changes to Plan: Moderate	Structural System: Balloon Frame		
Changes to Original Cladding: Extensive	Changes to Interior: Unknown		
Changes to Other: Extensive	Changes to Windows: Extensive		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Wood - Clapboard Veneer - Stucco Veneer - Rolled Asphalt Wood - Boards	Hip - Hip-on-Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1910 Built Date
	1975 Remodel
	1981 Remodel
	2012 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: This building has been significantly altered through the years. The ground plan has been moderately altered. Changes to the original cladding, windows, and doors are all extensive. In some cases, the replacement windows differ in size and configuration to the original window opening, requiring additional alterations to fill in the openings around the replacement windows. This was one of several properties to be classified by City building inspectors as "substandard housing" in the mid-1970s. Only one of the items detailed in the inspection report, however, suggested a structural alteration be made to the building. This was to "replace support post for the overhanging section of the main floor on the south west side of the building." A permit to "fire-rate" the furnace area was issued in 1975. A permit for "apartment remodel" was issued in 1981. The building was re-roofed in 2012. Give the extensive alterations, we recommend that this building is not eligible for listing on the National Register.

Description of
Physical
Appearance:

This is a one-story with full basement Arts-and-Crafts – Craftsman built located on the east side of Maiden Lane at the intersection with Ash. The house was originally a single-family dwelling, but has since been divided into multiple rental apartments. The address prior to 1972 was 1310 Maiden Lane.

The house has an irregular ground plan that covers 1,376 square feet. The roof is a partially hipped side-facing gable stoop covered with asphalt composition shingles. The walls are clad in wood clapboard and stucco. The foundation is poured concrete.

The primary, northwest elevation faces Maiden Lane. Poured concrete steps, a retaining wall, and a walkway lead to the front door which is below ground level. The front door is a single-leaf six-panel replacement door surrounded by plain trim. Above the door is a pediment hood with exposed support beams, and wood shingles underneath gable. This hood has projecting eaves with a cornice fascia. To the right of the door is a three-sash window with an oversized middle sash and screens on the smaller sashes. To the right of this window is a single-hung window. Both windows have plain wood trim and lintel.

The southwest elevation has an extended wing with a saltbox roof and asphalt composition sheeting, made to look like brick. The roof has eaves projected and rafters exposed. On the wing is a pair of single-hung windows with plain trim, sill and wood mullion. The wing is supported by two plain wooden posts. The southwest elevation, outside of the wing, has stucco cladding covering original wood cladding. At the foundation level, under the wing, are remnants of the old clapboard siding and two boarded-up windows. To the south of the wing are two single-sash windows with plain trim and sill. The first story has a large single-sash window with plain trim and sill. The roof for the overall southwest elevation has eaves projected and rafters exposed. The south corner of the elevation rests on poured concrete pillars.

The southeast elevation, at basement level, has a plywood-covered crawlspace under the house. The basement story, at the south end, has three single-sash windows. One of the windows is missing glass; all have plain trim. To the right of the windows there is a replacement single-leaf door. To the right of the door are three single-sash windows with original glass and trim. Breaks in the cladding above the basement level indicates the first story originally had four vertical windows, though three of these have been replaced by two horizontal windows of different sizes. The replacement window at the south end of the elevation is a two-sash horizontal window. The central replacement window is three-sash window with an oversized middle sash that is approximately twice as large as the flanking sashes. To the right of this is another replacement window, though it is of the same size and configuration as the original window opening. It is a double-hung window, but the bottom sash is missing. There is a vent under the gable of the roof.

At the eastern end of the northeast elevation, there is a partially enclosed porch addition at the first story. The porch addition is covered by a saltbox roof and is supported underneath by a poured concrete retaining wall that creates a walkway to a foundation entrance. The porch addition is partially clad in plywood. To the right of the porch addition is a covered doorway with a single-leaf door, which is not original. A projected wall with a pair of windows is to the right of the door. One of the windows is a single-sash, the other a single-hung window. Both have plain wood trim and lintel. To the right of the projection is a two-sash, horizontal sliding window with plain wood trim and lintel. The original cladding around this window is replaced by vertical flushboard.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 145 TN
NW elevation
2013



View to 90 TN
NW elevation
2013



View to 125 TN
SW elevation
2013



View to 350 TN
SW elevation
2013



View to 280 TN
SE elevation
2013



View to 185 TN
NE elevation
2013



View to 180 TN
NE elevation-east half
2013



View to 235 TN
NE elevation-west half
2013



Historic Inventory Report

Location

Field Site No. 22 DAHP No.

Historic Name:

Common Name:

Property Address: 540 Maiden Ln NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112300006050004

Plat/Block/Lot Reaney's 1st Addition/Block 6/Lot 5

Acreage 0.02

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474032

Northing: 527677

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/30/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Wimmer, Dennis R.

Owner Address: 640 NE Maiden Ln, Apt #6

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 2.5		
Changes to Plan: Moderate	Structural System: Balloon Frame		
Changes to Original Cladding: Extensive	Changes to Interior: Unknown		
Changes to Other: Extensive	Changes to Windows: Extensive		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Wood - Board-and-Batten	Gable - Front Gable	Wood - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1904 Built Date
	1953 Remodel
	1979 Remodel
	1982 Addition
	1986 Remodel
	1986 Addition
	2006 Remodel
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: This was one of several properties to be classified by City building inspectors as "substandard housing" in the mid-1970s. Many of the alterations identified here appear to have been made since that time. These include a moderate change to the ground plan and extensive changes to the original cladding, windows, and doors. City permitting records indicate a new roof was installed in 1979. In 1982, a permit for the construction of a deck/sunroom addition was issued. Another permit for alterations and additions was issued in 1986. Notes on that permit detail the scope of these alterations: "repair and or replace front porch and wood walk; reside house with 1" x 8" cedar siding; add 22' x 8' sun room below existing upper addition and 6' x 22' deck; add 22' x 8' storage room below sun room." In 2006, a permit was issued for repairs following a fire. These repairs were extensive and included the replacement of all drywall, insulation, and wiring from the lower and upper units as well as the replacement of exterior doors and handrails and siding on three elevations. Because of the many replacements, additions, and alterations to the building, we recommend the building is not eligible for listing on National Register of Historic Places.

Description of
Physical
Appearance:

This is a two-and-one-half-story Craftsman located on the east side of Maiden Lane, two lots south of its intersection with Ash Street. Originally built as a single-family dwelling, the house is now divided into multiple rental apartments. The address prior to 1972 was 1308½ Maiden Lane.

The house has a rectangular ground plan that covers 813 square feet. Because it is built into a steep hillside, only the upper one-and-one-half stories are visible on the primary (northwest) elevation that faces Maiden Lane. The building has a front-facing gable roof with projected eaves, and it is covered by wood shingles. The building is clad in vertical board-and-batten and the foundation is poured concrete. On the northwest elevation, wood stairs lead to a partially enclosed and covered wood porch. The roof of the porch is a low hip, and is supported by wimple wood pillars. The half-wall that partially encloses the porch is made of horizontal wood planking, and the floor of the porch is made of wood planks. The base of the porch is elevated off of the ground, creating an accessible crawl space. Beneath the porch roof is a projected bay window with a horizontal sliding window in the middle and a narrow single-hung window on either side (the windows throughout the building feature no notable trim). To the right of the window is a replacement single-leaf door with simple wood trim. The upper half-story features a single-sash window.

The southwest elevation reveals that there has been an addition attached to the rear portion of the building. At the foundation level, the original building has a bare concrete foundation while the addition level has been fronted by the wood cladding. On the first level there has been an elevated walkway made of wood planking added, which wraps around the elevation and connects to a back porch. The first level also features two single-hung windows, a single-leaf door, and a large horizontally sliding window. On the upper level there is a small projection in the middle of the elevation. There is a small horizontal sliding window to the left of the projection, a three-sash window in the projection, and two more horizontal sliding window to the right of the projection.

On the southeast elevation there is a single-leaf door and a horizontal sliding window in the foundation level. Porches supported by simple wood beams and surrounded by metal railings have been added to the first and second stories. The first story has centrally located single-leaf door flanked on each side by horizontal sliding windows. The second story has a horizontal sliding window, a two-leaf sliding glass door that enters on to the porch, and a three-sash window. All of these features are part of the addition to this elevation, which is covered by a low hip roof. The open gable of the primary roof line is still visible.

On the northeast elevation there are no notable features in the foundation level. The first story has a horizontal sliding window, a small single-hung window, and two slightly larger single-hung windows. The second story has a horizontal sliding window, a single-hung window, and a slightly smaller single-hung window. From this elevation there is no access to the street because a poured concrete retaining wall reaches up to the top of the first level of the home.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 145 TN
NW elevation
2013



View to 140 TN
SW elevation
2013



View to 340 TN
SW elevation
2013



View to 10 TN
SW-SE elevations
2013



View to 230 TN
NE elevation-east part
2013



View to 320 TN
NE elevation
2013



View to 175 TN
NE-NW elevations
2013



Historic Inventory Report

Location

Field Site No. 23 DAHP No.

Historic Name:

Common Name:

Property Address: 530 Maiden Ln NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112300006050006

Plat/Block/Lot Reaney's 1st Addition/Block 6/Lot 6

Acreage 0.02

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474000

Northing: 527661

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/30/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Ghirardo, Mary K.

Owner Address: 825 SE High St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House		Current Use: Domestic - Multiple Family House	
Plan: Rectangle	Stories: 1	Structural System: Mixed	
Changes to Plan: Extensive		Changes to Interior: Unknown	
Changes to Original Cladding: Moderate		Changes to Windows: Extensive	
Changes to Other: Extensive			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Rustic / National Park	Log - V Notched Wood - Board-and-Batten Concrete	Gable - Front Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1903 Built Date	
1954 Remodel	
1980 Remodel	
1981 Remodel	
1985 Remodel	
1985 Addition	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No



Historic Inventory Report

Statement of Significance:

This building has been significantly altered from its original log cabin configuration. The original ground plan has been extensively altered by the construction of additions and there have been moderate changes to the cladding on the original part of the building. Changes to the original windows and doors are extensive. City of Pullman records indicate that John Wickliffe divided the house into three units in 1954, and this appears to be the beginning of a long history as a rental property. A building permit application submitted by Wickliffe on 14 July 1954 called for the construction of a new foundation under the porch, cutting of three doors, closing one door, and making "minor repairs." In 1976, this was one of several properties on Maiden Lane identified as "substandard housing" by City building inspectors. In 1985, Dennis Wimmer received a permit for "re-roofing, taking down addition, and remodeling 4 bedrooms." This suggests an older addition to the back of the log cabin was demolished and replaced by the current addition. A sketch of the 1985 addition found in the City's permitting files matches the current wooden deck on the southeast elevation of the building. The integrity of the building has been substantially compromised by the additions, many changes to cladding, doors and windows, and by replacement of the roof. Therefore, we recommend that the building is not eligible for listing on the National Register of Historic Places.

Description of Physical Appearance:	<p>This one-story Arts and Crafts – Rustic/National Park dwelling is located on the east side of Maiden Lane, three lots south of its intersection with Ash. This was originally built as a single-family log cabin in 1903. Extensive modifications have greatly increased the size of the building, which is now divided into multiple rental apartments for college students. The address prior to 1972 was 1308 Maiden Lane. The current building has a rectangular ground plan that covers 920 square feet. The roof is a front-facing low gable with projecting eaves and a boxed cornice. It is covered with asphalt composition shingles. All of the additions and part of the original log building have board-and-batten. The logs of the original cabin are full-peeled with round-V notching and have concrete chinking. The foundation is poured concrete and possibly some random rubble.</p> <p>The primary, northwest, elevation faces Maiden Lane. The front yard is 3–4 feet below the street and sidewalk level, and is shored up by a poured concrete retaining wall. A poured concrete sidewalk and steps lead to a concrete patio that is partially covered by a low gable porch with a shiplap ceiling. The porch beneath the roof incorporates logs that are consistent with the logs that front the elevation. The patio is flanked with two poured concrete crawl space access points that have metal coverings. The front entrance is a replacement single-leaf door. Flanking the door on the right are two single-hung windows with log trim. The windows are replacements.</p> <p>The southwest elevation, at the foundation level, has a single-sash window. The first story has an added doorway with a single-leaf door with plain trim. Below the door is a small covered poured concrete patio with a shiplap cladding overhang. The major support beams are exposed. To the right of the door is a projection that is probably an addition. A new single-hung window with plain trim is present on the northwest facing elevation of this project, next to the door. To the right of this is a two-sash horizontal sliding window. The rear half of the first story is a foot wider than the foundation, creating different depths on this elevation.</p> <p>The southeast (rear) elevation is an addition. The lower part of the elevation at the basement level is covered by poured concrete decorated to look like a brick veneer. This wraps around to cover the lower part of the northeast elevation of the addition. The basement level has a single-leaf door that is flanked on the left by a square single-sash window and on the right by two single-hung windows. The first story, above the basement, is divided into two equal halves with identical window-and-door arrangements. A wood balcony, divided in half by a wood partition, extends out from the elevation. On each side of the wall is a large single-sash with narrow flanking horizontal-sliding windows and a single-leaf door. There are two vents under the gable.</p> <p>At least part of the foundation beneath the northeast elevation of the original log building appears to be rubble, but most of it is covered in stucco. There are no windows in the addition to the rear part of the building, but the original log portion contains a single-sash four-light window in the foundation. The first story on the original log cabin has two single-hung windows with log trim. The trim has a header and jambs of peeled half logs.</p>
Major Bibliographic References:	(1) City of Pullman permitting records.

Photos



View to 95 TN
NW elevation
2013



View to 70
SW elevation corner notching
2013



View to 145 TN
NW elevation door detail
2013



View to 120 TN
SW elevation
2013



View to 360 TN
SW-SE elevations
2013



View to 300
SE elevation
2013



View to 315 TN
NE elevation
2013



View to 235 TN
NE elevation foundation joint
2013



View to 175 TN



Historic Inventory Report

NW corner detail
2013



Historic Inventory Report

Location

Field Site No. 24 DAHP No.

Historic Name:

Common Name:

Property Address: 510 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350004030001

Plat/Block/Lot Reaney's 2nd Addition/Block 4/Lot 3 (N 1/2)

Acreage 0.02

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473711

Northing: 527737

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/30/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Family Value Real Estate LLC

Owner Address: 13002 Marine Dr.

City: Tulalip State: WA Zip: 98271

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House		Current Use: Domestic - Multiple Family House	
Plan: Irregular	Stories: 1	Structural System: Balloon Frame	
Changes to Plan: Intact		Changes to Interior: Unknown	
Changes to Original Cladding: Slight		Changes to Windows: Extensive	
Changes to Other: Intact			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Modern - Minimal Traditional	Shingle	Gable	Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured	Single Family		

Narrative

Study Unit	Other	
Community Planning/Development		
Date of Construction:	1936 Built Date	Builder:
	1999 Remodel	
		Engineer:
		Architect:

Property appears to meet criteria for the National Register of Historic Places: No
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: The ground plan of the original building is intact and the original doors remain, however there have been slight changes to the original cladding and extensive changes to the windows and roof. Most of the original windows appear to have been replaced. A new roof was installed in 1999. Because of the loss of integrity, we recommend the building is not eligible for listing on the National Register.



Historic Inventory Report

Description of Physical Appearance:

This is a one-story Modern–Minimal Traditional located on the east side of Maple, one-half block north of Spaulding Street. Originally built as a single-family dwelling, the house is now divided into two rental apartments. The address prior to 1972 was 1302 Maple Street.

The house has an irregular ground plan that covers 888 square feet. The most prominent roofline is a side-facing gable. Left of center on the primary (northwest) elevation is a wing that incorporates the front entryway. Over this wing is a front-facing gable that connects on the right to a front-sloping shed roof over the entryway. All rooflines feature close eaves. The roof is covered with composite asphalt shingles. There is a chimney made of stretcher bond masonry with a header fixture in the center of the northwest slope of the side gable roof. There is also an added gutter system. The walls are clad with wood shingles and the foundation is poured concrete. Around the southwest and southeast elevations there is a wood picket fence.

The northwest elevation faces Maple Street and is the primary elevation. A poured concrete sidewalk and stairs lead to the front entry to the house. The single-leaf front door has a light on top and a decorative panel on the bottom, an aluminum storm door, and a decorative surround. The door sits in a wing that is projected from the rest of the building. Also in this wing, to the left of the door, is a large single-sash, twenty-four light window with simple wood trim; all of the windows share this simple trim. To the right of the door, on the southwest facing side of the wing, is a single-hung window. On the northwest elevation of the primary building are a single-hung window on the first level and a horizontal sliding window in the foundation.

The southwest elevation has two single-hung windows and a small single-sash window in the first level. A pair of single-sash windows separated by a wood mullion and a single-hung window are in the foundation.

The southeast elevation features two single-hung windows in the foundation level to the left of a single-leaf door that accesses the basement apartment. This door has nine lights in the top and a panel on the bottom and is covered by a shed roof hood. A small single-sash window is right of the door. On the first level there are three single-hung windows and a smaller horizontal sliding window.

The northeast elevation has a small wing that is projected from the primary building and creates an enclosed entryway for a side door, which is covered by a side facing gable roof. There is a single-hung window on the northeast elevation of this covered entryway, while the screen door faces northwest and is met by wood stairs with a metal hand railing. The foundation level of the projected section is partially open. On the northeast elevation of the primary building there is a small single-sash window in the foundation level and a single-hung window in the first level.

A two-car detached garage is located behind the house. The garage has a medium hip roof, flush board cladding, and a poured concrete foundation. The overhead garage doors on the northeast elevation are vinyl replacements. On the northwest elevation there is a single-leaf door that is not original. There is an addition to the southwest elevation of the garage, which according to City records was constructed in 1964 when Annabelle Schmidt owned the property. This addition has a shed roof that extends down from the original hip roof. On this elevation there is a single-sash window. There are no notable features on the southeast elevation of the garage.

Major Bibliographic References:

(1) City of Pullman permitting records.

Photos



View to 120 TN
NW elevation
2013



View to 85 TN
NW-SW elevations
2013



View to 355 TN
SW elevation
2013



View to 300 TN
SE elevation
2013



View to 160 TN
NE elevation
2013



View to 170 TN
NE-NW elevations of garage
2013



Historic Inventory Report

Location

Field Site No. 25 DAHP No.

Historic Name:

Common Name:

Property Address: 500 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350004030002

Plat/Block/Lot Reaney's 2nd Addition/Block 4/Lot 3 (S 1/2)

Acreage 0.06

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473669

Northing: 527691

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 04/30/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Uniquity LLC

Owner Address: 18122 157th Ave. NE

City: Woodinville State: WA Zip: 98072

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Single Family House		
Plan: Rectangle	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Slight	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Moderate		
Changes to Other: Extensive			
Other (specify): Doors			
Style: Arts & Crafts - Craftsman	Cladding: Shingle	Roof Type: Gable - Side Gable	Roof Material: Metal - Standing Seam
Foundation: Concrete - Poured	Form/Type: Single Family - Side Gable		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1925 Built Date
	1979 Remodel
	2005 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Most of the original cladding remains, though other elements of the building have been altered. The ground plan has been slightly altered by the addition to the southeast elevation. Changes to the original windows appears to be moderate and changes to the original doors are extensive. City records indicate that a partial re-roof occurred in 1979 when the owner was Inez Stephenson. The present metal roof as installed in 2005, by which time the property was owned by Eric Whettam of Seattle. The addition and other alterations, especially replacement of the roof, have resulted in substantial loss of integrity. Therefore, we recommend that the building is not eligible for the National Register.

Description of
Physical
Appearance:

This is a two-story Arts and Crafts – Craftsman located at the northeast corner of Maple and Spaulding streets. The address before 1972 was 1300 Maple Street. This single-family dwelling has a rectangular ground plan covering 2,419 square feet with a poured concrete foundation. The roof is a side-facing gable with eaves projected and rafters exposed. The open end of the gable is supported by decorative brackets. The roof is standing-seam metal. Walls are clad primarily with wood shingles. There is a white frieze between the first and second stories.

The northwest elevation is the main elevation and faces Maple Street. A poured concrete walkway leads to straight wood stairs and a partially enclosed porch with a wooden railing. There is a single-leaf door on the porch that faces the southwest. The elevation is divided into thirds by a central projection that is approximately ten feet wide. The foundation level has openings for identical windows in each third of the elevation. The original windows (single-sash windows with four lights) remain in two of the opening but is missing in the opening beneath the porch. From left to right across the elevation, the first story contains a single-hung window, single-sash window. In the middle of this elevation, there is a projected section, approximately ten feet long, two single-hung windows (in the projection), and a single-sash window. On the porch, there is a single-hung window, with the top sash smaller than the bottom. Above the projected section, but slightly wider, is a shed-roof dormer with two two-sash horizontal sliding windows. The windows on the foundation and first story appear to be original. The second story windows are replacements.

The foundation of the southwest elevation contains two single-sash, three-light windows with simple wood trim and sill. There are exposed crawl spaces under the corners of this elevation that are supported by poured concrete pillars. The first story has a middle projection that is approximately ten feet wide and contains two small single-sash windows flanking a larger single-hung window, with a smaller sash on top. To the right of the projection is a side-by-side single-sash window with wood mullion. Over the projection is a shed roof awning with eaves projected and rafters exposed. The second story has a two-sash horizontal sliding window. All of the windows of this elevation have simple wood trim and sill.

The southeast elevation has two single-sash windows with four lights at foundation level. The left window has one pane replaced by wood to accommodate a vent. The right window has a missing muntin. On the first story (from L to R), there is a set of three single-sash windows with wood mullions, a single-sash window, and three single-hung windows (one about two-thirds the size of the other two). There is a small addition with shed roof at the northern end of the elevation. The addition is supported by wood posts on poured concrete and brick foundation. It is clad in wood boards on the northeast elevation and wood shingles on the southwest and southeast elevations.

The northeast elevation at foundation level has two openings that are boarded up. The first story has a single-sash window, a replacement single-leaf door, and a horizontal sliding two-sash window. The second story has a two-sash horizontal sliding window with four lights on top and sixteen lights on bottom. At the east end of this elevation there is a poured concrete retaining wall.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 120 TN
NW elevation
2013



View to 120 TN
NW elevation-southern third
2013



View to 30 TN
SW elevation
2013



View to 345 TN
SE-SW elevations
2013



View to 340 TN
SE elevation
2013



View to 180 TN
NE elevation
2013



Historic Inventory Report

Location

Field Site No. 26 DAHP No.
Historic Name:
Common Name:
Property Address: 410 Spaulding St NE, Pullman, WA 99163
Comments:
Tax No./Parcel No. 112350004020002
Plat/Block/Lot Reaney's 2nd Addition/Block 4/Lot 2
Acreage 0.04
Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473723
Northing: 527665
Projection: Washington State Plane South
Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/01/2013
Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran
Owner's Name: Wright, Debra A.
Owner Address: 645 SE Spring St.
City: Pullman State: WA Zip: 99163
Classification: Building
Resource Status: Comments:
Survey/Inventory
Within a District? No
Contributing?
National Register:
Local District:
National Register District/Thematic Nomination Name:
Eligibility Status: Not Determined - SHPO
Determination Date: 1/1/0001
Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Single Family House		
Plan: Irregular	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Intact	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Slight		
Changes to Other: Intact			
Other (specify): Doors			
Style: Tudor - Elizabethan	Cladding: Veneer - Stucco	Roof Type: Varied Roof Lines	Roof Material: Asphalt / Composition - Shingle
Foundation: Concrete - Poured	Form/Type: Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1925 Built Date 1998 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: Yes
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: This house appears to have undergone few alterations. The plan, cladding, and doors appear to be all original and intact, and there have been only slight modifications to the windows. The only alteration identified from City permitting records was the installation of a gas furnace in 1998. Therefore, we recommend the house is eligible for listing on the National Register on the basis of significant architectural design and components (Criterion C, Design, Construction, and Work of a Master). Though the individual components lack great distinction, as a whole, the house represents a type of residential architecture associated with the early years of Washington State College. The building is one of the few in the inventory area that retains its integrity, and thus, represents an increasingly vanishing example of intact houses in the Maple Street-Maiden Lane area.

Description of Physical Appearance: This is a two-story Tudor – Elizabethan located on the north side of Spaulding Street, one-half block east of Maple Street. The address before 1972 was 302 Spaulding Street. The property was already included in the Historic Property Inventory Database as legacy data (DAHP No. 38-00380), though no architectural details are provided on the existing form.

This single-family dwelling has an irregular ground plan that covers 1,623 square feet. The roof is a hip on the primary with projecting eaves and plain fascia. There is an extension of hip over the south end of the southwest elevation, and a slide-sloping shed roof over the west side of the southwest elevation. Gutters have been added. There is a center single-stack chimney with stretcher-bond masonry. The walls are clad with stucco with wood detail on each elevation. The foundation is poured concrete. There is a poured concrete retaining wall on the southwest and southeast elevations. There is a two-track poured concrete driveway and hexagonal paving stones that connect the drive to the poured concrete sidewalk in front of the house.

The primary, southwest elevation faces Spaulding Street. A poured concrete sidewalk and stairs lead to a poured concrete stoop at the front entrance. The stoop has a semi-circular hood and decorative brackets above, as well as an original light fixture above the door. The door, which appears to be original, is a single-leaf with two panels on the bottom and four lights on top. It is surrounded by a plain white trim and a new storm door has been added. The foundation of this elevation contains a single-sash three-light window that is side-by-side with a wood mullion. The first story has three single-hung windows with four top lights and wood mullions, and a plain sill. The header merges with the bottom of the decorative wood detail on the second story. The second story has three single-hung windows with four top lights, wood mullions, and plain sill.

The southeast elevation, at foundation level, has three single-sash three-light windows with plain wood trim. The first story has a set of three single-hung windows with wood mullion and simple wood trim. The right end of the southeast elevation is inset about one foot, and has a single-hung window with plain wood trim. The second story has two pairs of single-hung windows with wood trim and wood mullion. The inset area has a single-hung window with wood trim.

The northeast elevation, at the foundation level, has no significant features. The first story has a single-hung window with four top lights. At the right end of this elevation, there is a single-hung window with etched glass that does not appear to be original. To the right of this is a double-leaf door with fifteen lights on each door. The door appears to have original hardware and original screen. There is a light fixture above the door. A poured concrete stoop is in front of the door. The second story has two pairs of single-hung windows with four top lights and wood mullions.

The foundation of the northwest elevation contains a coal chute and a single-sash three-light window. The majority of this elevation is projected out from the foundation-level footprint. The projection has a shed roof that does not meet the primary roof line. The first story has a pair of single-hung windows with four top lights, wood mullions, and simple trim. At the right end of the projection, there is a single-leaf door with two panels on the bottom and four lights on top. This matches the front door on the southwest elevation. The door is covered by an original screen door. To the right of the door is a small, single-sash four-light window with plain trim and sill. The second story has one small and one larger single-hung window with four top lights.

The driveway runs along the base of the northwest elevation and leads to a detached single-car garage at the northernmost corner of the building. The garage has front gable roof and is clad in stucco with wood detail, similar to that of the main house. There is a vertical flushboard door. The southwest elevation is the primary elevation and has projected eaves and rafters exposed, with plain fascia on the open end. On the southeast elevation there is a single-sash six-light window with plain wood trim. The northwest and northeast elevations of the garage have no notable features.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 30 TN
SW elevation
2013



View to 30 TN
SW elevation front entry detail
2013



View to 345 TN
SE elevation
2013



View to 120 TN
NW elevation
2013



View to 150 TN
NW elevation
2013



View to 195 TN
NE elevation
2013



View to 210 TN
NE elevation
2013



View to 210 TN
NE elevation back door
2013



View to 195 TN



View to 50 TN

Roof overview
2013

NW-SW elevations of garage
2013



View to 300 TN
SE elevation of garage
2013



Historic Inventory Report

Location

Field Site No. 27 DAHP No.

Historic Name:

Common Name:

Property Address: 435 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350002020003

Plat/Block/Lot Pullman Original Plat/Block 34/Lot 1

Acreage 0.05

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NW	Whitman	PULLMAN

Coordinate Reference

Easting: 2473448

Northing: 527569

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/01/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Slocum Apartments LLC

Owner Address: PO Box 35

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Irregular	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Intact	Changes to Interior: Extensive		
Changes to Original Cladding: Intact	Changes to Windows: Extensive		
Changes to Other: Slight			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Colonial - Colonial Revival	Shingle	Gable - Side Gable	Asphalt / Composition - Shingle
	Wood - Clapboard		
Foundation:	Form/Type:		
Concrete - Poured	Single Family - Side Gable		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1912 Built Date
	1965 Remodel
	1999 Remodel
	2012 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: The plan and cladding appear to be intact or only minimally altered, and there have been slight changes to the door. However, most of the original windows have been replaced and the photographs posted on the Slocum Apartments website show the interior has been extensively altered. City records show that a building permit to remodel multi-family units was issued in 1965. This permit indicates the alterations made in 1965 increased the number of apartments from three to the present five-unit configuration. This remodeling was completed by Guy Pitts. A new roof was installed in 1999. In 2010, City building inspectors noted that "the north side foundation, steps, roof, and support column are sagging." That year, a permit was issued to "rebuild porch deck and stairs" (undoubtedly a reference to the new porch and stairs at the rear of the southwest elevation). In 2012, a permit was issued to "replace concrete steps with wood and Trex [a wood-alternative composite]." The building has been extensively altered and we recommend that it is not eligible for listing on the National Register of Historic Places.

Description of Physical Appearance:

This is a two-story Colonial Revival located on the west side of Maple Street, two lots south of Spaulding Street. Originally built as a single-family dwelling in 1912, the house is now divided into five rental apartments. Three of the apartments have two bedrooms, the other two have a single bedroom. Numerous photographs of the building interior can be found by found on the Slocum Apartments LLC web site (<http://www.slocumapartments.com/htmlver/index.php>). The address of the building prior to 1972 was 1207 Maple Street.

The house has an irregular ground plan that covers 1,974 square feet. The roof is an asymmetrical side-facing offset gable, and is covered by composite asphalt shingles. The elevations are clad with wood shingle and clapboard siding. Clapboard primarily covers the first story, while wood shingles cover the second story and the skirt between stories. There are two chimneys. One is exposed on the southwest elevation and constructed of stretcher-bond brick; the other is center-northwest and is a single-stack structure bond. The foundation is poured concrete.

The southeast, primary, elevation faces Maple Street. A poured concrete walkway with steps leads from the street to the front entrance. A second concrete walkway extends to the driveway that runs along the northeast elevation of the house. The front entrance features poured concrete steps and stoop flanked and supported by brick. There is a large single-leaf door with three top lights; the door and hardware appear to be original. Flanking the door are side panels with four lights each, and above it is a decorative header and pedimented hood. Pilasters flank both sides of door. The first story, left of the door, has a large single-sash, thirty-light window flanked by narrow single-hung windows with nine top and nine bottom lights. These have basic trim and wood mullions. To the right of the door, there is a set of four single-hung windows, with nine top and nine bottom lights. These windows have simple wood trim and mullions. The second story of this elevation has a wide dormer with a shed roof. Four single-hung windows are in the dormer. Two are original with nine top lights. The other two are replacements with six lights. All have simple wood trim. Gutters are added on this elevation.

The northeast elevation has breaks in the foundation at the east end which are covered up. The foundation level has three single-sash, two-light windows and a single-sash three-light window. The glass in the foundation windows is covered with paint. Starting at the left side of the elevation, the first story contains a set of three single-hung windows with nine top and nine bottom lights, with wood trim and mullions. Continuing right, there is a large window with a large sash on bottom, decorative glass sash on top, and decorative muntins. To the right of this window there is a slight projection with a narrow-hip roof. This projection has a two-sash window with plain trim on bottom and decoration on top. This is flanked by a single-hung window with nine top lights. To the right of the projection, there is a large window with twelve lights on the top sash and a horizontal sliding two-sash bottom window. At the far right end of the elevation, there is a small projected entryway. Side-facing wood steps lead to a wooden stoop. The entryway is covered by a shed roof and pedimented hood over the stairs leading to the stoop. Beneath the covered entryway, there is a narrow four-leg window and a storm door with six top lights and a bottom panel with etched and frosted glass light over the transom. There also is a door facing the southeast that has six top lights and three panels on the bottom. The hardware is replacement, but the door is original and has a plain surround and original doorbells. To the right of the entryway projection, there is a horizontal sliding two-sash window and a single-hung window with nine top lights. The second story of this elevation has three replacement single-hung windows with plain wood trim, a pair of single-hung windows with wood mullion (also replacements), and a set of three single-sash windows with wood mullion. There is a vent under the gable.

On the northwest elevation, at the first story, there is a single-leaf door which is partially replaced and a light above the transom. There is a wing projected off the primary facade which is two stories high. It has a front gable roof with projected eaves and a boxed cornice. On the northeast facing side of this projection, there are two horizontal sliding two-sash windows and a poured concrete walkway extends around the projection to the southwest elevation. The second story has an original single-hung window with nine top lights to the left of the wing, and a replacement single-hung window with single-sash flanking windows on the wing.

The southwest elevation, at the foundation level, contains an opening beneath the projected wing at the rear of the house that is boarded up. The foundation of this elevation also contains four single-sash two-light windows with a poured concrete sill, and a sixteen-light window. From left to right across the elevation, the first story features a pair of replacement single-hung windows with wood mullion and brackets for missing screens. To the right, there is a single-leaf door and a replacement screen door. A new wood porch and stairs extends from the ground level up to the door. The back quarter of the west end of this elevation is set back from the rest of the elevation. At the west end of the projection and facing northwest, there is a replacement single-hung window. Continuing right along the elevation, there are two small projected sections supported by consoles. Both projections have a shallow hip roof. On the first projection there are two single-hung windows. The second projection has two single-sash windows with eighteen lights. This particular projection is flanked on either side by a single-hung window with nine top lights.

Finally, there is a single-sash window to the left of the chimneys. The chimney is constructed of stretcher-bond brick. The second story of this elevation features a replacement horizontal sliding two-sash window and an original single-sash nine-light window on the recessed area at the rear of the house. Continuing to the right, there is a horizontal sliding two-sash window and a single-hung window with nine top lights and bracket for a missing screen. In the middle of the elevation there is a large two-sash window with a plain sash on bottom and decorative on top. This window also has brackets for a missing screen. To the right of the chimney, there is a single-sash eight-light window. Finally, there is a vent under the gable.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 300 TN
SE elevation
2013



View to 275 TN
NE elevation
2013



View to 210 TN
NE elevation rear entryway
2013



View to 150 TN
NE-NW elevations
2013



View to 150 TN
NW elevation rooflines
2013



View to 120 TN
NW elevation gable detail
2013



View to 120 TN
NW elevation back stairs
2013



View to 30 TN
SW elevation
2013



View to 30 TN



View to 330 TN



Historic Inventory Report

SW elevation east bay detail
2013

SW-SE elevations
2013



Historic Inventory Report

Location

Field Site No. 28 DAHP No.

Historic Name:

Common Name:

Property Address: 625 Opal St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112350005120001

Plat/Block/Lot Reaney's 2nd Addition/Block 5/Lot 12 (S 1/2)

Acreage 0.03

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2474083

Northing: 527975

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/01/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Troll, Curtis/Carol

Owner Address: 700 SW Fountain St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 1.5	Structural System: Balloon Frame	
Changes to Plan: Slight	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Moderate		
Changes to Other: Slight			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Shingle	Gable - Front Gable	Asphalt / Composition - Shingle
	Veneer - Brick		
	Wood - Clapboard		
Foundation:	Form/Type:		
Concrete - Poured	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1910 Built Date	
1962 Addition	
1970 Remodel	
1985 Remodel	
1986 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Much of the original cladding appears to be intact, though there have been slight changes to the ground plan and doors. Changes to windows is moderate to extensive. Although the first story retains many of the original windows, the building as a whole has a majority of replacement windows. Alterations identified in City records include a 5-x-10-ft. addition permitted in 1962 (perhaps an older deck at the rear of the house?). The contractor is listed as Myron Marcellus. The house was re-roofed in 1970 and a new gas furnace was installed in 1985. In 1986, a permit was issued to convert the second floor into a separate apartment, turning the house into a duplex. This is probably when the current deck attached to the northwest elevation was constructed. Given the alterations to the building, we recommend that it is not eligible for listing on the National Register.

Description of
Physical
Appearance:

This is a one-and-one-half-story Arts and Crafts – Craftsman located on the west side of Opal Street, one-half block south of Oak Street. Originally a single-family dwelling, the house is now divided into two rental apartments for college students. The address prior to 1972 was 1405 Opal Street.

Although the Whitman County Assessor records indicate this house was built in 1910, an item in the “Personal” section of the 24 September 1909 issue of the Pullman Herald indicates that a Mrs. L. Borden lived at 1405 Opal Street on that date. The house at this address appears the same on both the 1908 and 1929 Sanborn maps, indicating a construction date of 1908 or earlier. Therefore, the date indicated in the Assessor records is only an approximate build date.

The house has a rectangular ground plan with projected entryway and covers 1,391 square feet. The dominant roofline is a front facing gable with large dormers on either slope; the shed roofs of the dormers create a roofline that resembles an airplane bungalow. All eaves are projected with rafters exposed. The roofing material is a composite shingle that appears to be new. The walls are clad in wood clapboard with a wood shingle skirting. The front porch is clad in stretcher bond brick veneer. The foundation is made of poured concrete. A poured concrete retaining wall stretches around the southeast and southwest elevations. A wooden fence runs along the northeast and northwest sides of the yard.

On the southeast elevation, there is a covered porch to the right of an enclosed front room. This section of the house is covered by a low hip roof and features stretcher bond brick veneer over the foundation. Brick pillars and a half-wall flank wood stairs that connect a poured concrete sidewalk to the wood floor of the porch. On either side of the stairs, the brick fronting on the foundation includes a decorative element that resembles a nearly-flat arch, mimicking a vent in the porch foundation. The brick veneer wraps around the southwest and northeast elevations of the porch section. Under the porch roof, on the southwest elevation, there is a set of three windows separated by wood mullions. The larger, central window is a single-sash with a large light on the bottom and three smaller lights on top. It is flanked by a pair of narrow single-hung windows. All windows in this house feature simple wood trim. On the southeast elevation of the porch there is a large single sash window with six small lights above one large light; fixtures for a screen remain. The northeast elevation of the enclosed portion of the porch has a set of three windows similar to those previously described on the southwest elevation of the porch. To the right of the enclosed portion of the porch, facing southeast, is an single-leaf door with nine lights. The door is original, but the hardware has been replaced. To the right of the door is a large single-sash window with a large light on the bottom and six lights on the top. The porch is supported by simple wood pillars and the ceiling is made of horizontal flush board. A single light hangs in the ceiling over the door. The upper half-story of the southeast elevation contains a single-hung window with six lights in each sash. Horizontal flush board is visible on the underside of the open gable.

On the northeast elevation there are two single-hung windows in the first story, along with two single-sash windows of unequal sizes. One of the single-hung windows retains its original screens. The upper half-story of this elevation features two single-hung windows.

The northwest (rear) elevation is fronted by a wood deck addition with stairs that allow access to the upstairs apartment. The first story of this elevation contains a single-hung window, a pair of tall and narrow single-sash windows separated by a wood mullion, and an original single-leaf door with one light on top. The original screen door remains as well, although the actual screen is missing. Between the first and second levels there is a boarded up opening which may have originally been a window. On the upper half-story of the elevation there is a replacement single-leaf door flanked by single-hung windows with six lights in each sash.

The southwest elevation, which faces the alley, features a covered entryway with a low hip roof and wood lattice over the foundation. Wood stairs lead to an original single-leaf door. To the right of the entryway, in the foundation level, there is a boarded window opening and an iron coal chute. There is also a hinged opening in the foundation to the left of the covered porch which likely leads to a crawlspace. On the first level of this elevation, to the left of the entryway is a boarded window opening that now houses an air conditioning unit. To the right of the entryway is a pair of single-sash windows with a wood mullion, a large window with two large lights on the bottom and five smaller lights on top, and one additional single-sash window on either side of the chimney. The chimney is made of stretcher-bond masonry and has two header fixtures. The upper half-story of this elevation contains two single-hung windows with six lights in each sash, and one single-hung window with four lights in each sash.

There is a detached single-car garage between the alley and rear of the house. The garage has a front-facing gable roof with projected eaves and modestly decorated rafters. It is constructed of common-bond brick masonry and has a poured concrete foundation. The metal garage door on the southeast elevation runs along overhead tracks and is not original. The northeast elevation has two single-sash four-light windows with wood trim and a brick slip sill. Where a third window might have been, a large section of the brick has been replaced by concrete. The northwest elevation contains one single-sash four-light window. The southwest elevation has three windows identical to those on the northeast elevation.

Major
Bibliographic
References:

- (1) City of Pullman permitting records.
- (2) Pullman Herald, 24 September 1909.

Photos



View to 300 TN
SE elevation
2013



View to 265 TN
NE elevation
2013



View to 120 TN
NW elevation
2013



View to 360 TN
SW elevation
2013



View to 30 TN
SW elevation porch window detail
2013



View to 345 TN
SW-SE elevations
2013



View to 300 TN
SE elevation of garage
2013



View to 180 TN
NE elevation of garage
2013



View to 75 TN



Historic Inventory Report

NW-SW elevations of garage
2013



Historic Inventory Report

Location

Field Site No. 29 DAHP No.

Historic Name: Washington Court Apartments

Common Name:

Property Address: 300 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 108150031060000

Plat/Block/Lot Pullman Original Plat/Block 31/Lot 6

Acreage 0.07

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NW	Whitman	PULLMAN

Coordinate Reference

Easting: 2473288

Northing: 527032

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/06/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Wimmer, Donald R.

Owner Address: 640 NE Maiden Ln. #6

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 2		
Changes to Plan: Moderate	Structural System: Unreinforced Masonry		
Changes to Original Cladding: Slight	Changes to Interior: Unknown		
Changes to Other: Extensive	Changes to Windows: Extensive		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Brick - Common Bond Veneer - Stucco	Flat with Parapet	Unknown
Foundation:	Form/Type:		
Concrete - Poured Stone	Multi-Family - Multi-Story Apartment Block		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1916 Built Date	
1953 Remodel	
1980 Remodel	
1986 Remodel	
2009 Remodel	
2011 Remodel	
2013 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No

Statement of
Significance:

This building has been significantly altered since its original construction in 1916. Construction of additions have moderately altered the original plan. Changes to the original cladding are slight, through changes both the original doors and windows are extensive. City records indicate the building was re-roofed in 1980 and extensively remodeled in 1986. Most of the 1986 alterations were to the addition at the rear of the building. This remodel entailed a significant alteration to the rear of the building and included the removal of existing siding and windows, installation of a waffle board sheathing, installation of four 8-x-4-ft windows and two 6-x-3-ft window, installation of footing and foundation between posts, and installation of 8-inch clear channel vertical siding. In 2009, a building permit was issued to Midway Property Management to "Remove old stairway. Enlarge apartments. Framing – insulation – electrical – sheetrock." A boiler change was made in 2011 and some exterior remodeling was in progress when we recorded the building in May 2013. The extensive alterations to windows and doors, changes in cladding and building plan, and replacement of the roof have led to substantial loss of integrity. Therefore, we recommend that the building is not eligible for listing on the National Register.

Description of
Physical
Appearance:

This is a two-story Craftsman style Multi-Story Apartment Block located on the east side of Maple Street at its intersection with Palouse Street. The address prior to 1972 was 1100 Maple Street. The building was previously recorded by Mary Reed and Glen Lindeman on 5 June 1986 and was assigned DAHP No. 38-00409.

The building has a rectangular ground plan that covers 3,192 square feet. The roof is flat with plain boxed parapet, and is covered in an unknown material. The walls are primarily common bond brick, but the wing on the northwest elevation is covered in stucco. There is a side-left stretcher-bond chimney. The foundation beneath the main part of the building is poured concrete.

The primary, northwest, elevation faces Maple Street. Poured concrete steps lead up to a porch with a dressed basalt foundation. The porch extends approximately eight feet from the building and is surrounded by an iron railing. The front entrance is double door (one panel and one large light per door) with plain trim. The doors pivot out and away from the center. On each side of the door there is a large one-sash window flanked by two double-hung two-sash windows with plain surround. These windows have a brick sill and arch radiating voussoirs. The second story above the porch is an added wing supported by two columns. The wing is built in an arcade recess style. The northwest elevation of the second story wing has six twelve-pane single-hung windows, and two twenty-pane windows. All windows have muntins. There are two quarter-round sashes at either end of the main line of windows. All of the main windows have a plain sill.

The southwest elevation of the main building has brick cladding on the first and second stories. There is a replacement door in the foundation which is a two-panel with one large light with moulded trim. The roof has a small projection toward the west end with boxed corners and exposed rafters. There is a modern addition at the rear of the building, which is made of wood shiplap cladding, which is recent. The roof is cornice-boxed and the first story has a two-sash mullion single-pane window, same type window as second story. The southwest elevation of the wing above the porch contains two horizontal sliding single-hung windows with twelve panes and a quarter-round with eight panes. Above the two horizontal sliding windows is a right-triangle window with wood muntins. All windows on the wing have plain trim and sill. The main section of the southwest elevation at the foundation level has three horizontal vertical-sliding single-hung windows with muntins, plain trim, and a sloping concrete sill. All three have eight panes. One is two-thirds the size of the other two. The first story contains one vertical-sliding single-hung window with plain trim, a brick sill, and eighteen lights. There are also two sets of two double-hung windows of varying size. The larger has twelve panes, while the smaller has eight panes; each has muntins and wood mullion. From left to right, the second story has one two-sash double-hung window with eighteen panes and plain trim; one eight-pane double-hung with muntins and plain trim, one single-sash six-pane with muntins and plain trim; one two-sash double-hung with mullion, plain trim, and two lights; and one two-sash double-hung eight-pane with muntins and plain trim. All of the windows on the first and second stories have arch-radiating voussoirs, with brick sill.

The southeast elevation of the original building is covered by a modern addition that has a low hip roof. The date when the addition was built is unknown, though the photograph attached to the existing SHPI form shows that it was present in 1986. The foundation (basement) level of the addition is open with plain support posts. There are two double-hung two-sash windows beneath the overhang. Each window has eight panes, plain trim, and a poured concrete slip sill. One of these windows is two-thirds the size of the other. There is also a plain wood door with plain trim. In the first story, the left side of the addition has a three-sash horizontal sliding window; the two side sashes are half the size of the middle. In the center of the elevation, there are two two-sash horizontal sliding windows with mullion. A two-sash horizontal sliding window with mullion is at the right end of the elevation. The second story of the addition contains two three-sash windows identical to those on the first story. There is also one window opening that is boarded up.

As with the windows on the southwest elevation, all of the windows on the northeast elevation have the arch-radiation voussoirs. All windows on the first and second stories have brick slip sills. The foundation level contains four windows. One is a two-sash window with one pane covered by metal. To the right of this is a rectangular single-sash window with plain trim and concrete sill. Next is a two-sash window with plain trim (the left sash is boarded up with three vents in it). Finally, there is a two-sash horizontal sliding window with plain trim and a concrete sill. From left to right on the first story, the windows consist of a pair of double-hung two-sash with eight panes and wood mullion, a pair of double-hung two-sash with wood mullion and brick slip sill, and a single two-sash double-hung with plain trim and eighteen panes. The second story contains three two-sash double-hung windows with eight panes and plain trim, and a two-sash double-hung window with eighteen panes and plain trim. The windows on the front porch wing have the same window configuration as those listed in the southwest elevation.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 125 TN
NW elevation-remodel in progress
2013



View to 120 TN
NW elevation front door detail
2013



View to 50 TN
SW elevation
2013



View to 34 TN
SW elevation porch foundation
2013



View to 300 TN
SE elevation
2013



View to 260 TN
SE-NE elevations
2013



View to 160 TN
NE elevation
2013



View to 175 TN
NE-NW elevations
2013



View to 225 TN



Historic Inventory Report

NE elevation porch detail
2013



Historic Inventory Report

Location

Field Site No. 30 DAHP No.

Historic Name:

Common Name:

Property Address: 330 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 108150031030000

Plat/Block/Lot Pullman Original Plat/Block 31/Lot 3

Acreage 0.03

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NW	Whitman	PULLMAN

Coordinate Reference

Easting: 2473389

Northing: 527156

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/06/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Community Action Center

Owner Address: 350 SE Fairmount Rd

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Intact	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Extensive		
Changes to Other: Extensive			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Colonial - Colonial Revival	Veneer - Brick	Hip	Asphalt / Composition - Shingle
	Wood - Clapboard		
	Wood - Shiplap		
Foundation:	Form/Type:		
Concrete - Poured	Multi-Family - Multi-Story Apartment Block		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1946 Built Date
	1969 Remodel
	1992 Remodel
	1999 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Changes to the original windows and doors are extensive. Although the original ground plan of the building has not been altered, City records indicate that interior alterations are significant. In 1969, owner Claude K. Irwin, Jr. applied for a permit to construct "additional units to residential structure." This was likely an alteration from a duplex to its current four-unit configuration. The building was re-roofed in 1992. The present owner (Community Action Center) made several alterations to the building in 1999. These include the installation of a new furnace, the replacement of aluminum windows with vinyl windows, and the installation of vinyl soffit and fascia. The extensive changes to windows and doors, installation of vinyl soffit and fascia, and the new roof have resulted in substantial loss of integrity. Therefore, we recommend that the building is not eligible for listing on the National Register of Historic Places.

Description of
Physical
Appearance:

This is a two-story Colonial Revival located on the east side of Maple Street three lots south of Whitman Street. The address prior to 1972 was 1106 Maple Street. This multi-family dwelling has a rectangular ground plan that covers 1,209 square feet. The roof is a low hip with a boxed cornice. The roof is covered in asphalt composition shingles, and clapboard is exposed underneath the cornice. There is a center-rear chimney that is brick stretcher-bond with a poured concrete top. The walls are clad in stretcher-bond brick. The foundation is poured concrete.

The northwest is the main elevation, which faces Maple Street. A poured-concrete walkway leads to concrete steps with a metal railing. At the center of the elevation, there is a partially enclosed concrete porch covered by a gabled roof. The roof is supported by plain posts. On the porch are two four-panel doors with recessed fans and five-pane lights. The doors have plain trim and there is a line of vertical bricks above the door. At the foundation level, there are two single-sash windows with plain trim. At the first story, there are two single-sash windows with plain trim, brick slip sill, and a flat arch. The second story contains four single-hung windows with plain trim and brick slip sill.

The southwest elevation has a poured concrete retaining wall that extends west from the foundation. At the foundation level, there is one single-hung window with plain trim and a poured concrete slip sill. This window is single-sash. There is a coal chute at the eastern end. The windows on the first story all have plain trim, brick slip sill, and a flat arch. From left to right on the first story, there is a pair of two-sash double-hung windows with mullions, one two-sash double-hung window, and one two-sash double-hung window that is half the size of the previous window. The second story contains two two-sash double-hung windows with plain trim and a brick slip sill.

The southeast elevation has a poured concrete walkway that leads to a poured concrete patio. The foundation level of this elevation contains a single-sash window with plain trim, one two-sash double-hung window with plain trim, one single-sash with plain trim, and two plain doors. Both doors are replacements; one has a low concrete step. The central part of the first story has a partially enclosed balcony with a corniced boxed sloped soffit and shed roof supported by three wood posts. The balcony is clad in shiplap siding and is supported underneath by two metal poles. There are wood steps and a wood railing facing northeast that lead to the balcony. The first story contains four two-sash double-hung windows with plain trim and brick slip sill and two plain doors with plain trim. The second story has two single-sash windows with plain trim and brick slip sill and two two-sash double-hung windows with plain trim and brick slip sill.

On the northeast elevation, the foundation level contains one horizontal and one vertical single-sash window with plain trim. The left half of the first story has one small and one large two-sash double-hung with plain trim, brick slip sill, and flat arch. The right half of the first story has a two-sash double-hung with mullion, plain trim, brick slip sill and flat arch. The second story contains two two-sash double-hung windows with plain trim and brick slip sill.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 126 TN
NW elevation
2013



View to 38 TN
SW elevation
2013



View to 345 TN
SW-SE elevations
2013



View to 305 TN
SE elevation
2013



View to 166 TN
NE-NW elevations
2013



Historic Inventory Report

Location

Field Site No. 31 DAHP No.

Historic Name: Pullman Christian Church

Common Name: Palouse River Counseling Center

Property Address: 340 Maple St NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 108150031020000

Plat/Block/Lot Pullman Original Plat/Block 31/Lots 1-2

Acreage 0.09

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NW	Whitman	PULLMAN

Coordinate Reference

Easting: 2473430

Northing: 527214

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/06/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Palouse River Counseling Center

Owner Address: 340 NE Maple St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing? No

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Religion - Religious Facility		Current Use: Health Care - Clinic	
Plan: Rectangle	Stories: 2	Structural System: Mixed	
Changes to Plan: Extensive		Changes to Interior: Extensive	
Changes to Original Cladding: Extensive		Changes to Windows: Extensive	
Changes to Other: Extensive			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Modern - International Style	Veneer - Stucco Veneer - Brick	Gable - Side Gable	Clay Tile
Foundation:	Form/Type:		
Concrete - Poured	Other		

Narrative

Study Unit	Other
Religion	Churches
Health/Medicine	Clinics
Date of Construction:	Builder:
1905 Built Date	
1965 Remodel	
1996 Remodel	
1999 Remodel	
2004 Remodel	
2005 Remodel	
2010 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No

Statement of
Significance:

The original church building has undergone significant alterations through the years which have radically changed the exterior appearance of the building. Aside from the configuration of windows and door in the foundation level of the southwest elevation and the lower portion of the original bell tower, there is little resemblance between the present building and the original church constructed in 1905. The outline of the church shown on the 1929–1949 Sanborn fire insurance map is labeled “foundation only” which suggests that most of the alterations to the building occurred before 1949. In 1965, a permit was issued to “remodel [the] Wesley Foundation bldg.” City records also indicate frequent alterations and remodeling throughout the last two decades. In 1996, gas pipe and a commercial cook stove were installed and a nonbearing wall was removed. Three years later, rotted fascia and soffit were replaced. The stucco sign in front of the building was installed in 2004. In 2005, work was completed on the gas furnace, electrical air conditioning system, and an enclosed porch. The basement was remodeled in 2010 and involved the completion of a new reception area. Therefore, we recommend the building is not eligible for the National Register.

Description of
Physical
Appearance:

This is a two-story Modern – International style building located on the east side of Maple Street one lot south of Whitman Street. The building was originally constructed in 1905 as the Pullman Christian Church, however it was later used by Simpson United Methodist Church as their “Wesley Foundation Building.” In 1977, a conditional use permit application was submitted by the Simpson United Methodist Church to use the building as a “Mental Health Center, Alcoholism Center, and Juvenile Center” called Harvest House. The building now serves as the Palouse River Counseling Center. The house on the adjacent lot to the north (400 Maiden Lane, Building 32) is now called Harvest House. The address prior to 1972 was 1108 Maple Street.

The building has a rectangular ground plan that covers 3,953 square feet. The current roof is most likely a low side gable; but the entire roof was not observable. Historic photographs show that the current configuration is radically different from the original church roof, which had steep cross gables and two towers with steep pyramid roofs. The present roof appears to be covered by ceramic tiles, though these are not visible from the ground. The building is now clad in stucco and brick veneer, but originally appears to have had clapboard siding over most of the building. The foundation is poured concrete. The lower half of the original bell tower is located at the northern end of the building, at the corner of the northwest and northeast elevations. The top of the tower was removed leaving a flat-top tower that extends above the extensively modified roofline.

The primary, northwest, elevation faces Maple Street. There is a poured concrete walkway and steps and a poured concrete ramp with a metal railing that lead to a partially enclosed porch with a poured concrete foundation and a flat roof supported by eleven metal beams. The foundation level of this elevation contains three single-sash six-pane windows with wood mullions and two single-sash eight-windows with mullion. At the left side of the elevation, the first story contains a sixteen-pane single-sash with a partial window (meaning no trim) but plain slip sill. To the right of this are two twenty-pane single-sash windows with partial window—on this partial window, three panes on each side of the window open. These two windows are separated by a metal mullion. Continuing right, there is an eighteen-pane single-sash partial window then a fifteen-pane single-sash window, of which the right three panes open outward. Finally, at the right end of the elevation, there is a sixteen-pane single-sash window, where the three northernmost panes open outward. All the windows on this elevation have plain stucco slip sill with no trim. There are four single-sash twelve-pane windows with brick surround in the second story of this elevation. All of the windows have stretcher-bond brick details to either side.

At corner of the northwest and southwest elevations, there is a balcony between the foundation level and the first story that forms a covered porch over a side entrance. This balcony has a metal railing and metal support posts and is composed of poured concrete. It is not original to the building. A wood staircase with wood handrails and a new lattice extends up the southwest elevation from the balcony to the second story door. This staircase also is an addition.

The foundation level of the southwest elevation contains a door and seven windows. This is the only portion of the elevation that bears any resemblance to the original church building. Everything above the foundation level has been extensively altered. The placement of the door opening has not changed, but the door is a replacement. A single-light window on the left side of the door appears to be a more recent addition. To the right of the door are six single-sash windows with ten panes each (four panes are hinged to open on each window). This line of windows is visible in historic photographs of the church, but the present windows are replacements. Further to the right is a single-sash twenty-pane window that is also a replacement. The original window was the same size as the other six windows in the foundation, while the current replacement window is considerably larger. Finally, there is a plywood door at the right end of the elevation that is not original. All of the windows on the foundation level have poured concrete slip sill covered with stucco.

There are three windows in the first story of the southwest elevation, none of which were present in the original church. One, above the balcony at the left end of the elevation, is a single-sash eight-pane partial window with a poured concrete slip sill. The other two, located at the opposite end of the elevation, are both two-sash, horizontal sliding windows with brick surround and poured concrete slip sill. The window on the left has etched glass.

We were unable to find a historic photograph showing the southeast (rear) elevation of the original church, though the distance from the easternmost window in the southwest elevation foundation to the present back of the building is greater than it is in the historic photographs. This indicates an extension to the rear of the building, which means none of the current features on the foundation level and first stories of the southeast elevation are original. The foundation level of this elevation contains a two-sash with mullion window (the north window is removed and replaced with a vent) to the left of a single-panel metal door with a poured concrete step. A poured concrete walkway extends from the door to a metal staircase that leads to the first story. Between the door and staircase, there are two two-sash, horizontal sliding windows with one pane larger than the other. These windows have plain trim with a poured concrete slip sill, and are inset approximately six inches. This inset is clad in wood veneer. Between the inset and the right end of the elevation, there are two two-sash partial windows with six panes, no trim, and a poured concrete slip sill. One of these windows is beneath the staircase. A two-sash horizontal sliding window is located at the left end of the first story. To the right of this are three horizontal sliding windows (two three-sash and one two-sash with no trim). Between the horizontal windows and a metal door at the far right end of the elevation is a two-sash double-hung window with wood vertical trim. All windows on this story have a poured concrete slip sill. The door has wood trim.

The foundation level of the northeast elevation has an L-shaped wood retaining wall and a poured concrete walkway that runs along the base of the wall below the ground level. There is an old doorway that is covered with a wood veneer and five single-sash partial windows with ten lights, a poured concrete slip sill, and no trim. As with the southwest elevation, this elevation has been radically altered above the foundation level. None of the current features are original. Windows in the first story include one two-sash double-hung, one single-sash twelve-light partial window, one single-sash ten-light with no trim and no surround, and two large single-sash windows flanking a three-sash vertical window. All windows on this story have a concrete slip sill. The second story features a round single-sash center window with nine panes that are stained glass with a brick surround. The patio on the right side of the elevation has a northeast-facing replacement double door with two lights and plain trim.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 130 TN
NW elevation
2013



View to 90 TN
NW-SW elevations
2013



View to 76 TN
SW elevation
2013



View to 298 TN
SE elevation
2013



View to 180 TN
NE elevation
2013



View to 280 TN
NE elevation
2013



View to 225 TN
NE elevation basement windows
2013



View to 225 TN
NE elevation 2nd story window
2013



Historic Inventory Report

Location

Field Site No. 32 DAHP No.

Historic Name:

Common Name: Pullman Harvest House

Property Address: 400 Maiden Ln NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112400001110002

Plat/Block/Lot Reaney's 3rd Addition/Block 6/Lot 11

Acreage 0.03

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NW	Whitman	PULLMAN

Coordinate Reference

Easting: 2473474

Northing: 527266

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/06/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Palouse River Counseling Center

Owner Address: 340 NE Maple St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing? No

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House		Current Use: Health Care - Clinic	
Plan: Rectangle	Stories: 1	Structural System: Balloon Frame	
Changes to Plan: Slight		Changes to Interior: Unknown	
Changes to Original Cladding: Moderate		Changes to Windows: Moderate	
Changes to Other: Extensive			
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Colonial - Colonial Revival	Shingle - Concrete/Asbestos	Hip - Bellcast Hip	Wood - Shake
Foundation:	Form/Type:		
Concrete - Poured	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
	1919 Built Date
	1954 Remodel
	1972 Remodel
	1982 Remodel
	1987 Remodel
	2009 Remodel
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No

Statement of
Significance:

A number of alterations have been made to the building exterior and interior through the years. These include slight changes to the ground plan, moderate changes to the cladding and windows, and extensive changes to the doors. Several major interior and exterior modifications were made to the house during the Dumas' period of residence. In March 1954, a permit was issued to E. A. Dumas for the removal of the front porch, inseting of the front door, widening of the front windows, partitioning and installing a bathroom, installing a built-in wardrobe, and pouring a concrete floor for one room of the basement. In 1972, a permit was issued for "lowering [the] window of back porch." A furnace permit was issued to Edith Dumas in 1982, and in 1987 the old cedar shakes on the roof were replaced with new shakes. In 2008, the house caught fire, which necessitated some major repairs. A permit to repair the windows, siding, and framing damaged by the fire was issued by the City in 2009. The house also received "acoustical treatment" and an exterior door was replacement. One of the most noticeable differences made during the 2009 repairs was the replacement of the original picture window on the front (northwest) elevation. The cladding at the rear of the southwest elevation also was replaced following the fire, however an effort was made to match the original cladding as near as possible (Mike Berney, Palouse River Counseling Center, personal communication 20 June 2013). Therefore, we recommend that this building is not eligible for listing on the National Register of Historic Places.

Description of
Physical
Appearance:

This is a one-story Colonial Revival located on the east side of Maiden Lane at its intersection with Maple Street. In 2006, the Palouse River Counseling Center assumed ownership of the house and was granted a conditional use permit to change the use of the building from single-family dwelling to Business Group B. It now serves as the Pullman Harvest House (a treatment center for substance addiction). The address prior to 1972 was 1110 Maiden Lane.

The house has a rectangular ground plan that covers 814 square feet. The roof is a bellcast hip with a boxed cornice and replacement wood under the eaves. It is covered with wood shakes. The walls are clad in concrete/asbestos shingles. There is a flagstone walk leading to brick steps at the front entrance. Part of the original steps are now covered by a ramp built after the building became Harvest House. There is a side-facing west stretcher-bond chimney.

The primary, northwest, elevation faces Maiden Lane. The front porch is an umbrage with door detailing on both sides. Each door detail has six panels. On either side of the door detailing is column detailing, and there is a light on the west side of the umbrage. To the left of the door, there is a single-sash window with diamond panes. The window has seventeen lights, seven of which are full diamonds; ten are half. To the right of the door, there is a single-sash twelve-pane window. Both windows have decorative shutters and plain trim and slip sill. This is a replacement window installed after a fire in 2008.

The southwest elevation has a sandstone patio covered by a shed-roof fiberglass awning that extends from the elevation of the house to the wood fence that bounds the yard. The foundation level of this elevation contains a replacement metal door beneath a replacement light fixture. There is one two-sash window beneath the awning that has a metal grate covered in ivy. To the right of this, there is one two-sash horizontal sliding window with poured concrete slip sill and plain surround. This window is a replacement. There is a brick flower bed at the base of the wall, under the awning, that is in stretcher-bond and capped with concrete. The first story has one two-sash, double-hung window with plain trim, slip sill, and decorative shutters on both sides.

The southeast elevation fronts the back yard. The yard is surrounded by a wood fence at the south and lattice at the north, and is completely covered with brick. Simple flower beds are incorporated into the brickwork. A spiral wood staircase leads from the back yard to a back door in the first story of the elevation. Most of the steps are original, but the wood shingle cladding on the southeast side of the staircase is a replacement.

The southeast elevation has a projection that extends approximately eight feet from the main house. This projection is supported underneath by two metal support beams. In the foundation level, beneath the projection, there is a replacement metal door with a large light, plain trim, and original surround. There is also a two-sash window with plain trim, plain slip sill and a decorative shutter. There is a two-sash window with plain trim and diamond panes (seven full, ten half) at the left side of the elevation, on the main part of the house. To the right of this, on the southwest facing side of the projection, there is a single-sash window and back door. The window has plain trim, diamond panes (seven full, ten half), and original storm windows. The door is covered by a screen door that has four bottom panels and screen on top. The southeast elevation of the projection contains a single-sash window with plain trim and diamond panes (22 full, 16 half) and a two-sash window with plain trim. Both windows are covered by a plastic awning; the former retains its original storm window.

In the foundation of the northeast elevation, there is an opening for a single-sash window with plain trim, but it is boarded with a vent projecting and a metal grate covering. There also is a two-sash fixed window with plain trim and a metal grate covering. The first story contains two single-sash windows with plain trim, and plain slip sill; both have decorative shutters. To the right of this is a two-sash double-hung window with plain trim, slip sill, and decorative shutters.

A detached two-car garage is located behind the house. A shared driveway runs between this house and the house to the north (410 Maiden Lane) to the garage. City records indicate that Edwin Dumas and neighbor Lewis Magill (who resided at 410 Maiden Lane) made a joint building permit application to build a shared 20-x-30-ft. garage behind the two houses in June 1954. The garage has a low-hip roof covered with wood shakes; the walls are clad in concrete/asbestos shingles. The northwest elevation of the garage contains double overhead doors with molded trim. The southwest and northeast elevations each have a single two-sash fixed window with plain trim and slip sill. There is a metal gutter that wraps around the northwest elevation. The southeast elevation has no distinguishing architectural features.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 150 TN
NW elevation
2013



View to 90 TN
SW elevation landscaping
2013



View to 320 TN
SE elevation
2013



View to 300 TN
NE elevation
2013



View to 5 TN
NE elevation
2013



View to 200 TN
NE-NW elevations of garage
2013



Historic Inventory Report

Location

Field Site No. 33 DAHP No.

Historic Name:

Common Name:

Property Address: 410 Maiden Ln NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112400001110001

Plat/Block/Lot Reaney's 3rd Addition/Block 6/Lot 11

Acreage 0.03

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NW	Whitman	PULLMAN

Coordinate Reference

Easting: 2473502

Northing: 527288

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/13/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Palouse River Counseling Center

Owner Address: 340 NE Maple St.

City: Pullman State: WA Zip: 99163

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing? No

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Single Family House	Current Use: Domestic - Single Family House		
Plan: Rectangle	Stories: 1.5		
Changes to Plan: Extensive	Structural System: Balloon Frame		
Changes to Original Cladding: Extensive	Changes to Interior:		
Changes to Other: Intact	Changes to Windows: Intact		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Tudor - Composite	Metal - Aluminum Siding	Gable - Front Gable	Wood - Shake
			Asphalt / Composition - Shingle
Foundation:	Form/Type:		
Concrete - Poured Stone	Single Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1904 Built Date	
1960 Remodel	
1987 Remodel	
2006 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Extensive changes have been made to the ground plan and cladding of this building. The windows and doors of the original part of the building appear to be intact. An undated application, probably dating from the 1960s based on the permit number, shows there was an alteration to part of the building measuring 14-x-9-ft. This is likely a reference to the alcove at the back door on the southeast elevation. In 1987, the cedar shakes were replaced and a new gas furnace was installed in 2009. Due to the extensive changes in the ground plan and roof, we recommend that this building is not eligible for listing on the National Register.

Description of
Physical
Appearance:

This is a one-and-one-half-story Tudor–Composite located on the east side of Maiden Lane at its intersection with Maple Street. The address prior to 1972 was 1112 Maiden Lane. This single-family dwelling has a rectangular ground plan with a small covered entryway on the left of the front elevation. There also appears to be two additions on the back elevation that follow the rectangular ground plan. The footprint covers 1,441 square feet. The dominant roofline is a high front-facing gable with wood shake covering and close eaves. The first addition has a low hip roof, which meets with the shed roof of the second addition. The roofs of the additions are covered in composite shingles and the foundations are poured concrete; the foundation of the original building is coursed dressed basalt. The walls are clad in replacement aluminum siding. A chimney is in the center of the building and is made of stretcher bond masonry.

The northwest elevation features a covered entryway that is projected from the primary elevation. A poured concrete sidewalk leads to a cinderblock patio and single-leaf front door. The door has a small light in the top, and appears to be original, though some of the hardware has been replaced. Over the door is a medium-hip hood supported by simple brackets; light fixtures flank the door. The covered entryway has a high gable roof. To the right of the entryway on the first story are two single-hung windows (the top sash measuring about one-third of the bottom sash). The upper half-story contains a pair of single-hung windows separated by wood mullions. All windows feature minimal wood trim and plain wood sills.

The southwest elevation contains two two-sash windows with wood trim inset into the foundation of the original building. The foundation of the first addition contains a four-sash window, while the foundation of the second addition is fronted in clapboard. The first story of the original building has three single-hung windows, while the first addition has a small single-hung window. The second addition has a single-hung window.

On the southeast elevation, in the second addition, the foundation has been converted into living space. The left side of the addition is fully enclosed and features a single-leaf door facing the northeast. The right side of the second addition foundation is open, and there is access to the foundation of the first addition through a single-leaf door with a light on top. To the left of the door are two single-sash windows. The first level of the second addition extends out over the open foundation and is supported on the right by simple wood pillars with a plastic or fiberglass meshing enclosing the end of the open foundation. On that first level there is a set of three single-hung windows separated by wood mullions and a pair of single-hung windows with wood mullion; over the sets of windows are fiberglass awnings. On the upper half-story of the original building there are two single-hung windows (one bigger than the other), and there is a vent under the open gable.

The northeast elevation features a large single-sash window in the foundation of the first addition, as well as a small two-sash window recessed into the stone foundation of the original building. One of the panes in this window has been replaced to accommodate a vent duct. There also appears to have been a second window in the foundation, but it is now boarded up. The first level of this elevation features a set of three single-hung windows with wood mullions in the first addition. In the original building, there is one large and one small single-hung window. In the roof of the primary structure, there is a front facing gable dormer with a single-hung window. This slope of the roof also contains two additional chimney pipes.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 155 TN
NW elevation
2013



View to 100 TN
NW-SW elevations
2013



View to 340 TN
SW elevation
2013



View to 330 TN
SE elevation
2013



View to 240 TN
NE elevation
2013



View to 60 TN
SW elevation foundation detail
2013



Historic Inventory Report

Location

Field Site No. 34 DAHP No.
Historic Name:
Common Name:
Property Address: 430 Maiden Ln NE, Pullman, WA 99163
Comments:
Tax No./Parcel No. 112400001090000
Plat/Block/Lot Reaney's 3rd Addition/Block 6/Lot 9
Acreage 0.07
Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NW	Whitman	PULLMAN

Coordinate Reference

Easting: 2473577
Northing: 527335
Projection: Washington State Plane South
Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/13/2013
Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran
Owner's Name: Rebecah Mih and Franz Zach
Owner Address: 430 NE Maiden Ln
City: Pullman State: WA Zip: 99163
Classification: Building
Resource Status: Comments:
Survey/Inventory
Within a District? No
Contributing?
National Register:
Local District:
National Register District/Thematic Nomination Name:
Eligibility Status: Not Determined - SHPO
Determination Date: 1/1/0001
Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: Irregular	Stories: 2		
Changes to Plan: Extensive	Structural System: Balloon Frame		
Changes to Original Cladding: Extensive	Changes to Interior: Unknown		
Changes to Other: Extensive	Changes to Windows: Moderate		
Other (specify): Doors			
Style:	Cladding:	Roof Type:	Roof Material:
Arts & Crafts - Craftsman	Veneer - Stucco	Gable - Side Gable	Metal - Standing Seam
	Shingle		Asphalt / Composition
Foundation:	Form/Type:		
Concrete - Block	Multi-Family		
Concrete - Poured			

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	Builder:
1926 Built Date	
1971 Remodel	
1981 Remodel	
1987 Remodel	
1998 Remodel	
2000 Remodel	
2009 Remodel	
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No



Historic Inventory Report

Statement of Significance:

This building has been significantly altered from its original configuration. The plan has been extensively altered by the construction of three additions. Changes to the original shingle cladding are extensive and all of the trim around the windows, doors, and the eaves has been replaced by aluminum trim stylized to look like painted wood. Most of the original windows and doors have been replaced. In 1971, the City issued a permit to E. C. Miller to “remodel, clean-up wiring, and add electrical heat, plumbing.” In 1981, owner Walter Mih received a letter from the City that stated “all work necessary to comply with City of Pullman is complete, except for item 12.” The letter references an earlier letter dated 30 October 1980 which evidently listed a number of items on the property that required attention. The 1980 letter is not contained in the City’s file, thus the type of work done to the property at that time is unknown. In 1987, a permit was issued to Evergreen Housing to “divide room for study area.” The house was re-roofed in 1998, but caught fire in 2000 and sustained extensive damage. Following the fire, the City declared the house dangerous and unsafe for occupancy. Unspecified work to repair the fire damage was completed later in 2000. We recommend that this building is not eligible for listing on the National Register due to the extensive alterations of windows, doors, and the extensive modifications from additions.

Description of Physical Appearance:

This two-story Arts-and-Crafts – Craftsman multi-family dwelling is located on the east side of Maiden Lane, three lots north of its intersection with Maple Street. In 2009, a certificate of occupancy for a four-unit apartment building was issued to current owners Rebecah Mih and Franz Zach. The address prior to 1972 was 1202 Maiden Lane.

The house has an irregular ground plan that covers 3,192 square feet. The original ground plan is extensively altered by the construction of three additions. The primary or original building has a side-facing gable with projected eaves and horizontal plain planking beneath the open gable ends, which are supported by minimally decorated brackets. The roof lines of the three additions form a front-facing gable that adjoins the side-facing gable on the southeast slope. The roof over the first addition makes an allowance for a door on the second level, while the roof on the second addition makes an allowance for a set of windows on the second level. The entire roof is covered with composite asphalt shingles. There are two chimneys, one right of center with stretcher-bond brick work and a stove pipe top, and one partially deconstructed brick chimney in the front slope. There are numerous vents in the roof as well. The entire building is clad in replacement stucco; the original cladding was wood shingles, some of which are still visible beneath the eaves. The building has a poured concrete foundation that is designed to look like blocks.

The primary, northwest, elevation faces Maiden Lane. The foundation of this elevation is not exposed. There are two front entrances on the first level, one on either corner that are recessed into the elevation to create covered front stoops. On the left, the replacement single-leaf door faces the northwest and features a single-hung window to the right. On the right, the replacement single-leaf door faces the southwest and has a single-hung window to the right. Each entryway has a small hip roof hood supported by simple brackets over the open porch that functions primarily as decoration. Each porch has a simple wood beam support at the corner. The porch on the left features a poured concrete stoop while the porch on the right features a wood plank stoop. Both are met by poured concrete sidewalks. Between the two entryways is a set of three windows separated by wood mullions. The middle window is a large single-hung window with a larger bottom sash, and it is flanked by narrow single-hung windows. The second story of this elevation features five single-hung windows, the three middle being adjoined by wood mullions.

On the southwest elevation, the additions are set back from the original structure by several feet. In the foundation level of this elevation, there is one single-sash window in the primary building and two horizontal sliding windows in the second addition. There is a wing in the foundation on this elevation between the primary building and the first addition with a slight shed roof made of standing seam metal sheeting. In this wing, there is a large single-hung window with a larger sash on the bottom and one replacement single-leaf door. The first story of the primary building has a pair of single-hung windows with mullion and a separate single-hung window. In the first addition, there is an enclosed porch that opens onto the wing's metal roof. The porch is comprised of a single-leaf door with nine lights, which faces the southwest, two eight-light windows and one four-light window facing southwest, and one eight-light and one four-light window facing southeast. The first story of the second addition contains two horizontal sliding windows and there is a replacement single-leaf door with a shed hood in the third addition. The second story of the primary building has two single-hung windows facing the southwest and a set of three single-hung windows with mullions facing the southeast; the roofline makes an allowance for these windows. The second story of the first addition has a replacement single-leaf door. There is a pair of single-hung windows with mullion in the second addition. An added wooden staircase adjoins the single-leaf door on the second level of the first addition, the single-leaf door on the first level of the third addition, and the poured concrete sidewalk that runs along this elevation.

The southeast elevation, which is comprised of the third addition, features a replacement single-leaf door with a shed hood and wood stairs in the foundation level. To the right of the door is a set of three single-sash windows with mullions. On the first story, there is a horizontal sliding window and on the second story there is a pair of single-hung windows with a mullion. An added metal fire escape ladder stretches from the second story windows to the shed hood.

The northeast elevation features a window that has been boarded up to accommodate a vent in the foundation of the primary building. There is a single-sash window and a horizontal sliding window in the foundation of the second addition. The first story of the primary building has two single-hung windows, while there is a small single-hung window in the first addition, two horizontal sliding windows in the second addition, and a single-sash window in the third addition. The second story of the primary building has a single-hung window and a pair of single-hung windows with a mullion. The second story of the second addition has a pair of single-hung windows with mullion and an additional single-hung window.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 185 TN
NW elevation
2013



View to 100 TN
NW elevation
2013



View to 60 TN
SW elevation
2013



View to 60 TN
SW elevation-east half
2013



View to 345 TN
SE elevation-south part
2013



View to 330 TN
SE elevation
2013



View to 280 TN
NE elevation
2013



View to 180 TN
NE elevation
2013



Historic Inventory Report

Location

Field Site No. 35 DAHP No.

Historic Name:

Common Name:

Property Address: 440 Maiden Ln NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112400001080000

Plat/Block/Lot Reaney's 3rd Addition/Block 6/Lot 8

Acreage 0.06

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NW	Whitman	PULLMAN

Coordinate Reference

Easting: 2473626

Northing: 527364

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/13/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Westermeyer, Ralph

Owner Address: 15600 NE 8th, Suite B1-443

City: Bellevue State: WA Zip: 98008

Classification: Building

Resource Status: Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: Rectangle	Stories: 2	Structural System: Mixed	
Changes to Plan: Intact	Changes to Interior: Unknown		
Changes to Original Cladding: Extensive	Changes to Windows: Moderate		
Changes to Other: Intact			
Other (specify): Doors			
Style: Colonial - Colonial Revival	Cladding: Veneer - Vinyl Siding	Roof Type: Gable - Cross Gable	Roof Material: Asphalt / Composition - Shingle
Foundation: Concrete - Poured	Form/Type: Multi-Family - Multi-Story Apartment Block		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1938 Built Date
	1989 Remodel
	2006 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: Changes to the original windows in this buildings appear to the moderate. Most of the windows are covered with aluminum screens, though some of the original windows remain behind the screens. Changes to the cladding have been extensive. In 1989, a permit was issued to owner J&B Enterprises of Pullman to replace the gas water heaters. That same year, a permit for residing was issued to Janice and Robert Miller. The house was re-roofed in 2006. In 2008, present owner Ralph Westermeyer of Bellevue, Washington was issued a permit to demolish a detached garage on the property. Therefore, we recommend that the building is not eligible for listing in the National Register of Historic Places.

Description of Physical Appearance:	<p>This is a two-story multiple-family Colonial Revival located on the east side of Maiden Lane, four lots north of its intersection with Maple Street. The address prior to 1972 was 1204 Maiden Lane. The house contains six apartments and has a rectangular ground plan that covers 2,825 square feet. The roof is a cross-gable roof with close eaves, and is covered with composite asphalt shingles. There is a centered chimney with stretcher bond masonry. The walls are clad in replacement vinyl siding resembling clapboard. The foundation is poured concrete. An asphalt driveway runs along the southwest elevation and connects to an asphalt parking lot on the southeast elevation.</p> <p>The primary, northwest, elevation faces Maiden Lane. The foundation of this elevation is obscured by dense ivy. A single-leaf door with twelve lights and plain trim recessed approximately two feet into the elevation is in the center of the first story. This creates a covered entryway with a poured concrete stoop and stairs down to a concrete sidewalk. The door is flanked on either side by flush side panels with five lights each. There is a large single-sash twenty-light window on each side of the recessed entryway. All windows have simple wood trim. The second story contains two twenty-light windows and two eight-light windows that open on vertical hinges.</p> <p>On the southwest elevation, the first one-third of the foundation is exposed poured concrete, while the back two-thirds are fronted by vinyl cladding. In the foundation, there is one single-sash six-light window and two single-hung windows, along with a single-leaf door with nine lights and an additional pair of single-hung windows with mullion. The first story contains three large and two small single-hung windows, each with six lights in the top sash. The second story has two large and two small single-hung windows, each with six lights in the top sash, and there is a vent under the open gable. The right end of this elevation features a cutout on the second story, with a hip roof over the first story, and a single-hung window on the recessed portion of the southwest elevation.</p> <p>The southeast, rear, elevation contains two single-hung windows in the foundation, two on the first level, and two on the second level; all but one of these windows has six lights in the top sash. There is a vent under the open gable.</p> <p>In the foundation of the northeast elevation, there are three single-hung windows with six lights in the top sash, one single-hung window, and one window that has been replaced by boards to accommodate a vent. The first story contains four single-hung windows with six lights in the top sash, one slightly smaller than the others, and one window that has been boarded up to accommodate a vent. The second story contains four single-hung windows with six lights in the top sash, one smaller than the others. A poured concrete sidewalk runs along the right side of the northwest elevation.</p>
Major Bibliographic References:	(1) City of Pullman permitting records.

Photos



View to 160 TN
NW elevation
2013



View to 125 TN
SW elevation
2013



View to 355 TN
SW-SE elevations
2013



View to 330 TN
SE elevation
2013



View to 300 TN
NE elevation
2013



View to 190 TN
NE-NW elevations
2013



Historic Inventory Report

Location

Field Site No. 36 DAHP No.

Historic Name:

Common Name:

Property Address: 460 Maiden Ln NE, Pullman, WA 99163

Comments:

Tax No./Parcel No. 112300006130001

Plat/Block/Lot Reaney's 1st Addition/Block 6/Lot 13

Acreage 0.07

Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473697

Northing: 527433

Projection: Washington State Plane South

Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/13/2013

Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran

Owner's Name: Slocum Apartments LLC

Owner Address: PO Box 35

City: Pullman

State: WA

Zip: 99163

Classification: Building

Resource Status:

Comments:

Survey/Inventory

Within a District? No

Contributing?

National Register:

Local District:

National Register District/Thematic Nomination Name:

Eligibility Status: Not Determined - SHPO

Determination Date: 1/1/0001

Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: Irregular	Stories: 2	Structural System: Balloon Frame	
Changes to Plan: Extensive	Changes to Interior: Unknown		
Changes to Original Cladding: Slight	Changes to Windows: Extensive		
Changes to Other: Slight			
Other (specify): Doors			
Style: Colonial - Colonial Revival	Cladding: Shingle	Roof Type: Gable - Front Gable	Roof Material: Asphalt / Composition - Shingle
Foundation: Concrete - Poured	Form/Type: Multi-Family		

Narrative

Study Unit	Other	
Community Planning/Development		
Date of Construction:	1928 Built Date	Builder:
	1977 Remodel	
	1990 Remodel	
	2008 Remodel	
		Engineer:
		Architect:

Property appears to meet criteria for the National Register of Historic Places: No
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: The original ground plan was extensively altered by the addition to the southeast elevation, though this is an old addition. It is shown on the 1929–1949 Sanborn map where it is labeled as an extension of the basement. Most of the original cladding appears to be intact, though there have been extensive changes to the windows (the first level retains more original windows than any other level). Changes to the doors appear to be slight. The house was re-roofed in 1990. In 2008, the house was again re-roofed and a permit was issued to remodel a bathroom, rebuild the deck at the rear of the house, and to remove a stairwell and incorporate the space into the remodeled bathroom. The alterations to the building plan, replacement windows, and replacement of the roof have resulted in substantial loss to integrity. Therefore, we recommend that the building is not eligible for listing on the National Register.

Description of Physical Appearance:

This is a two-story multiple family Colonial Revival located on the east side of Maiden Lane, three lots south of its intersection with Spaulding Street. The address prior to 1972 was 1208 Maiden Lane. The house is divided into nine rental apartments. It is comprised of a rectangular primary building with a large addition on the southeast elevation that makes the overall ground plan irregular. The current ground plan that covers approximately 2,988 square feet. The primary building has a front-facing gable, as does the addition; the northeast elevation of the primary building adjoins the northeast elevation of the addition, but the southwest elevation of the addition is set farther back than that of the primary building. The roof of the primary building has close eaves, while the roof of the addition has slightly more projected eaves; both roofs are covered with composite asphalt shingles. There are several metal chimney pipes in the roofs of both parts of the building and one stretcher-bond brick chimney in the northeast slope of the primary roof. On the northwest and southeast elevations, the second story extends out over the first by less than one foot and has decorative knobs affixed to the overhang. The entire building is clad in wood shingles. The foundation is poured concrete.

The primary, northwest, elevation faces Maiden Lane. A modestly decorative poured concrete sidewalk leads to a partially enclosed porch at the left end of the northwest elevation. This porch is actually part of the northeast elevation, but is open at the northwest end. To the right of the porch opening, in the foundation level of the northwest elevation, there are two replacement horizontal sliding windows. The windows are mostly below the ground surface and open into subterranean alcoves with poured concrete retaining walls. The first story of this elevation has a slightly projected bay with a thirty-light window and an ornate wood surround. To the right of the bay is a single-hung window with six lights in the top sash. All windows on this elevation except for the bay window feature decorative wood shutters and simple wood trim and sill. The second story contains two single-hung windows and a vent under the gable.

On the southwest elevation, there is a partially covered entryway on the left end of the foundation and first level, and farther to the right there is a projected wing on the first level that creates coverage over a foundation level entry. Between these two structural features are two two-sash windows in the foundation level. In the partial enclosure created by the projected wing, there is a three-sash window in the foundation level, and then farther to the right on the primary building are a single-hung window with six lights in the top sash and a horizontally sliding window with four lights in each sash.

The first story of the southwest elevation contains an original single-leaf door with a large glass panel and an original screen door, which sit under a shed roof that creates a covered entryway. The roof is supported by simple wood pillars, is partially enclosed by wood railing, and is adjoined to side-facing wood stairs. To the right of the door is a pair of single-hung window, each with six lights in the top sashes, and one horizontal sliding window. On the projected wing, which also has a shed roof, a large window facing the northwest has been boarded up, there is one horizontal sliding window facing the southwest, and there is one single-hung window facing the southeast. On the second story, there is one horizontal sliding window, two small and one large single-hung window, and one horizontal sliding window with four lights in each sash. All windows on this elevation have simple wood trim and sill; the second level windows also have decorative shutters.

The southeast elevation of the primary building has one single-hung window in the foundation level, two single-hung windows in the first story, and two single-hung windows in the second story; all of these windows are replacements. Also on this elevation is the addition, which adjoins the primary building at the foundation level and extends out towards the southeast. The property is built into a hillside, allowing the addition to have its own full basement. As a result, the foundation level of the primary building is the first level of the addition. The southwest elevation of the addition has three entries on the first level. There are two standard size single-leaf doors with six lights (one retaining its original screen door). To the right of these doors are cupboard-like fixtures on the exterior of the building. The final single-leaf door, at the right end of the elevation, has six lights and is slightly narrower than the others. It also retains an original screen door and has a cupboard fixture to the left. Each door opens onto a poured concrete stoop with a wood hand railing. Also on this level are two replacement single-hung windows. In the foundation level on this side of the addition, there are two horizontal sliding windows and one single-hung window, all of which appear to be replacements.

On the southeast elevation of the addition, the foundation level is fully exposed; the right side of the level is clad in wood shingles while the left side remains unadorned poured concrete. In this level there is a horizontal sliding window and two single-hung windows. The first level contains two single-hung windows and a vent under the gable. All windows on this elevation are replacements. Also on this elevation is a wood deck with railing that is accessible via wood stairs from the southwest, or from a poured concrete walkway that runs along the northeast elevation.

The northeast elevation of the addition features one replacement single-leaf door in the foundation level. Poured concrete stairs lead to the first level of the addition, but under the elevated walkway there is an additional horizontal sliding window in the foundation. In the first level, there is one replacement single-hung window and two original single-leaf doors with six lights; one of the doors retains its original screen door. Returning to the original building, the foundation level features a projected bay feature with a replacement single-hung window with eight lights in each sash. There are two replacement single-leaf doors to the right. The right two-thirds of this level are projected out to support the first level porch. In the foundation for the porch, there is a single-hung window facing the southeast, and a single-hung window and horizontal sliding window facing the northeast; all windows are replacements. On the first level, there is a replacement single-hung window to the left of the porch. Under the shed roof porch is an original single-leaf door with fifteen lights, one single-hung window with six lights in the top sash, and one replacement single-leaf door with added aluminum screen door. The porch is partially enclosed by wood railing and the roof is supported by simple wood pillars. Poured concrete stairs with simple brick detail join the concrete porch floor to the sidewalk.

Major
Bibliographic
References:

(1) City of Pullman permitting records.

Photos



View to 160 TN
NW elevation
2013



View to 115 TN
SW elevation
2013



View to 10 TN
SW elevation
2013



View to 345 TN
SE elevation of main house
2013



View to 60 TN
SW elevation of eastside addition
2013



View to 10 TN
SE elevation of eastside addition
2013



View to 180 TN
NE-NW three elevations
2013



Historic Inventory Report

Location

Field Site No. 37 DAHP No.
Historic Name:
Common Name:
Property Address: 470 Maiden Ln NE, Pullman, WA 99163
Comments:
Tax No./Parcel No. 112300006120001
Plat/Block/Lot Reaney's 1st Addition/Block 6/Lot 12
Acreage 0.04
Supplemental Map(s)

Township/Range/EW	Section	1/4 Sec	1/4 1/4 Sec	County	Quadrangle
T14R45E	05	NW	NE	Whitman	PULLMAN

Coordinate Reference

Easting: 2473739
Northing: 527464
Projection: Washington State Plane South
Datum: HARN (feet)

Identification

Survey Name: Pullman Maple Street Inventory Date Recorded: 05/13/2013
Field Recorder: Robert R. McCoy, Dulce L. Kersting, Robert R. Fran
Owner's Name: Westermeyer, Ralf S.
Owner Address: 15600 NE 8th, Suite B1-443
City: Bellevue State: WA Zip: 98008
Classification: Building
Resource Status: Comments:
Survey/Inventory
Within a District? No
Contributing?
National Register:
Local District:
National Register District/Thematic Nomination Name:
Eligibility Status: Not Determined - SHPO
Determination Date: 1/1/0001
Determination Comments:



Historic Inventory Report

Description

Historic Use: Domestic - Multiple Family House	Current Use: Domestic - Multiple Family House		
Plan: Irregular	Stories: 1.5	Structural System: Balloon Frame	
Changes to Plan: Intact	Changes to Interior: Unknown		
Changes to Original Cladding: Intact	Changes to Windows: Moderate		
Changes to Other: Intact			
Other (specify): Doors			
Style: Tudor - Composite	Cladding: Shingle	Roof Type: Gable - Cross Gable	Roof Material: Asphalt / Composition - Shingle
Foundation: Concrete - Poured	Form/Type: Multi-Family		

Narrative

Study Unit	Other
Community Planning/Development	
Date of Construction:	1930 Built Date
	1981 Remodel
	2005 Remodel
	Builder:
	Engineer:
	Architect:

Property appears to meet criteria for the National Register of Historic Places: No
 Property is located in a potential historic district (National and/or local): No
 Property potentially contributes to a historic district (National and/or local): No

Statement of Significance: The original ground plan, cladding, and doors appear to be intact. Moderate changes have been made to the original windows, mostly on the rear (southeast) elevation where windows have been removed. A remodeling permit was issued to Robert L. Miller in 1981. The house was re-roofed and a gas furnace replaced in 2005. The original roof was covered with wood shingles, which were present in 1949, as indicated on the Sanborn Fire Insurance Map. The window alterations and new roof have substantially compromised the integrity of the building. Therefore, we recommend that the building is not eligible for listing on National Register.

Description of Physical Appearance: This one-and-one-half-story Tudor–Composite Multiple Family dwelling located on the east side of Maiden Lane, two lots south of its intersection with Spaulding Street. The address prior to 1972 was 1210 Maiden Lane.

The house contains two rental apartments and has an irregular ground plan that covers 1,549 square feet. The dominant roofline is a side facing gable with a front facing gable over a wing that is on the right end of the northwest (primary) elevation. The southwest slope of the front gable extends out to join the single-car garage. All of the rooflines feature close eaves, and the entire roof is covered with composite asphalt shingles. The building retains its original wood shingle cladding. The foundation is poured concrete. An attached single-car garage extends out from the southwest elevation of the house and is distinguished from the main roofline by a narrow front gable. The 1929–1949 Sanborn map indicates this not an addition, but was part of the original building.

The northwest, primary, elevation faces Maiden Lane. A poured concrete sidewalk and broad stairs lead to an original single-leaf door with four lights. The door has decorative hinges and is made of wood paneling. The doorway has a decorative wood surround and a flat hood supported by wood consoles; the door sits in a projected wing that adjoins the front-gabled wing. This smaller entry wing also has a front-facing gable. To the left of the entryway is a large single-sash window on the portion of the house under the side gable. Between the wood and front door is a chimney made of stretcher-bond masonry and styled into four tiers. On the upper half-story, under the front gable, is a round window. At the far right end of the elevation is the front of the attached garage. As previously noted, the garage is distinguished from the main roofline by a narrow front gable. The garage door is missing.

The garage covers most of the first story and basement levels of the southwest elevation of the house. The southwest elevation of the garage contains a four-light window. In the basement level, to the right of the garage, there is an original four-light window that opens on horizontal hinges. In the first story of the elevation, to the right of the garage, there is an original single-hung window with four lights in the top sash. The upper half-story contains a pair of single-hung windows with three lights in the top sash, and separated by a mullion. A vent is under the open gable.

The basement level of the southeast elevation contains three single-hung windows with four lights in the top sashes, plus an additional window opening that has been boarded up. These windows also retain the brackets for missing screens. The first story contains a single-hung window with four lights in the top sash, a horizontal sliding window, and two single-sash windows of different sizes. There are also two breaks in the cladding on this level that may have formally been part of windows.

On the northeast elevation, there are poured concrete stairs and a metal hand rail leading from the street level down through a concrete retaining wall to a foundation level entry. The single-leaf door with six lights has flush side panels with five lights each and simple wood trim. On either side of the door are single-sash four-light windows. The first story of this elevation contains two single-hung windows, one with four lights in the top sash and the other with six lights in the top sash. The upper half-story has a pair of single-hung windows with three lights in the top sash and separated by a wood mullion. There is also a vent under the open gable.

Major Bibliographic References: (1) City of Pullman permitting records.

Photos



View to 160 TN
NW elevation
2013



View to 100 TN
NW-SW elevations
2013



View to 100 TN
SW elevation
2013



View to 10 TN
SW elevation
2013



View to 20 TN
SE elevation
2013



View to 208 TN
SE-NE elevations
2013



View to 305 TN
NE elevation
2013